

# PUBLIC SAFETY FACILITY ASSESSMENT

TOWN OF WESTMINSTER, MA

MARCH 2019



**Tecton**  
ARCHITECTS



**JOHNSON  
STRUCTURAL  
ENGINEERING**

**PR** **PACHECO ROSS**  
a division of H2M architects + engineers  
EMERGENCY RESPONSE FACILITIES



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*EXECUTIVE SUMMARY*



## EXECUTIVE SUMMARY

In January of 2019, working with Colliers International, the Owners' Project Manager, Tecton Architects, P.C. was contracted to conduct a facilities assessment of the existing Public Safety Facility in the Town of Westminster, MA. Additionally, a space needs assessment was conducted for a new Police Station, new Fire Station and a third possibility of a new joint Public Safety Facility. From the space needs assessments, an opinion of probable costs for each scheme. The purpose of this study was to assist the Town of Westminster in determining whether the existing facility could be renovated to accommodate one or both facilities or if a new facility would need to be constructed on a different site.



## STUDY PROCESS

Tecton Architects, P.C. conducted separate interviews with both the Police, and Fire Departments. In those meetings Tecton, and Pacheco Ross Associates (PRA), Tectons' fire station programming consultant, met with each Chief and key personnel to review the following:

- Current department staff
- Future staff projections
- Current town population
- Future town population projections
- Current issues with the existing site
- Current issues with the existing facility
- How the current facilities function
- How the facility would ideally function in the future
- Opportunities for spaces that can be utilized for training
- Safety and Security
- Parking and site features

From this information Tecton reviewed each potential space that is currently utilized in similar sized departments. That information assisted the development of the programs found in this document.

Once the programs were established an opinion of probable costs (OPC) was developed for each scheme utilizing current market data to assign costs per square foot for each facility, and escalated to the assumed mid-point of construction, based on the included schedule.

In addition to the programming of the new facilities Tecton in association with Consulting Engineering Services (CES), the MEP engineer, and Johnson Structural Engineering, (JSE), the structural engineer, an existing facility assessment was conducted. The purpose of this study was to understand the value of the existing building and what modifications would be required to have the existing facility comply with the current building code. It should be noted that where mechanical systems are listed as 'nearing the end of their usable life' that ASHRAE 90.1 identifies that MEP systems have an assumed life expectancy of 30-50 years. With that assumption, most of the MEP systems may begin to fail as soon as the next 5 years.

This information was then assembled into this document for the Town of Westminster's use in moving forward with the construction and / or renovation based on the recommendations outlined in this study.

*EXISTING FACILITY ASSESSMENT*  
*ARCHITECTURAL NARRATIVE*



## EXISTING BUILDING

### Location

7 South Street  
Westminster, MA 01473  
Tax map ID 110//99//  
Zoned - R1

### Site

- Size - Approximately 4 acres divided between both Public Safety and Town Hall
- Public Safety portion of the site = 1.6 acres before factoring wetlands and setbacks.
- Setbacks per Zoning 205 Attachment 2 are as follows:  
Front = 25', Rear = 20', Side = 15'
- Parking - 42 Spaces

### Building Description

- Use Group - B Business
- Construction Classification 5B Combustible Unprotected
- Wood framed with wood trusses
- Fire Suppression - Yes
- Area - 11,182 Gross Square Feet
- Stories - 2, no basement
- Max Allowable Height per Zoning 205 Attachment 2 - (2-1/2) Stories at 35'-0",
- Actual height of existing building at 45'-0" +/-
- First constructed during the 1950s with an addition in the late 50s and renovated to the current status in 1995.
- Floor to floor between ground level and upper level = 12'-4"
- Portions of the Town Halls' third floor are currently utilized to provide the Police Department with their records storage.



## EXTERIOR

### SITE

Current size utilization is near 100%, with little or no possibility to expand the facility. The existing building is on a municipal lot that was subdivided when the new Town Hall was constructed. The existing public safety facility is flanked by parking and drive aisles to the South and East and a return / response drive for the Fire Department to the Northwest. The North and West sections of the site are cut off from future development due to an active stream, and sections of the building, and out buildings, appear to currently be within, or close to the 25' buffer required from wetlands by the Conservation Commission bylaws (002 / 003). This would make alterations to these sections of the site and building difficult without a variance. Snow storage is also limited by the stream and shape of the site. It has also been reported by the department that there has been a history of the stream overflowing its bank bringing the high water line into the existing apparatus bays.

Bituminous pavement and concrete aprons for the apparatus bays are deteriorating, and will likely need replacement in the next 5 years (001). Parking is also not adequate to serve this facility. Currently, visitor parking is limited to a couple of spaces adjacent to the visitor entrance, if those are occupied then visitors will need to park closer to Town Hall, forcing them to walk across the Fire Department apron. This is not a preferred arrangement and is a potential hazard (004).

The presence of hazardous materials was not confirmed as part of this study. It is recommended that a Phase I Environmental Study be conducted to determine if hazardous materials are present.

Tecton received and reviewed the construction documents from the 1995 addition / renovation by Haynes Lieneck and Smith, Inc. Architects. Drawing A1 provides data from the geotechnical boring logs. The borings indicate a consistent water table between 4'-0" & 5'-0" below existing finish grade. Additionally, organics including peat, and degrading wood and roots were encountered up to 8'-0" below the existing finish grade. Should any additions or new buildings be constructed on this site a thorough geotechnical analysis should be conducted to determine what is required to provide adequate bearing capacity. With the elevated water table and adjacent stream, it may not be feasible to remove and replace this existing material with structural fill. The soil may require stabilization by installing a combination of grouted aggregate piers (GAPs) and rammed aggregate piers (RAPs), or by driven piles. It should be noted, however, that the existing building does not show signs of damages related to uneven settling.



001



002



003



004



005



006

## BUILDING

### Roof

Sloped roofs - 3 tab shingles, age of the roof was not verified, but there is one layer installed and on a visual inspection would be approximately 75% through its replacement cycle.

Flat / low slope roof - EPDM membrane roofing system - Small portion over the existing Sally port. Roof condition could not be verified due to snow cover. It was noted that the intersection with exterior wall has an issue with persistent leaking. This is likely caused by either deterioration or improper installation of the wall flashing.

Most of the building does not have storm-water controls from the roof, such as gutters and downspouts. The few that are installed on the building are either damaged, or draining towards the building instead of away. These should be repaired or replaced and the areas that do not have gutters should have them added.

### Fascia and Trim

Roof edge trims, such as fascias and frieze boards are aluminum wrapped wood. Other trims and soffits are vinyl. Most of this material is in fair condition, with only specific areas requiring repair from either impact damages or mold and mildew propagation (005 / 006).

### Windows and Doors

Windows - Vinyl double hung with 7/8" insulated glazing with simulated divided lites. Appears to be residential grade. U-value could not be confirmed, but is likely not in conformance with the current energy code.

Man Doors -Hollow metal with single glazed lites. Minimal rust was evident. Likely do not meet the current energy code, but are in generally good condition.

Overhead Doors Vinyl or Aluminum sectional overhead doors. Doors at the apparatus bays have lites in the third panel from the bottom. Could not verify if the over-head doors are insulated or if they meet the current energy code. The finish is wearing slightly and multiple bottom panels do not match the rest of the doors as they appear to have been previously damaged (007). Door bottom seals and weatherstripping does not appear to be functioning as intended and requires replacement. Only the 2 central apparatus bay overhead doors are adequate in size, standard size for an apparatus bay overhead door is 14'-0" x 14'-0".



007



008



009



010



011

## Siding

Siding is generally in poor condition. Specific areas require repair from impact damages (008 / 009). Other locations, specifically on the North side of the building where sun exposure is limited, mold and mildew has propagated and needs to be cleaned (010 / 011).

## Envelope

It was verified that the attic is currently insulated with approximately 6" of blown in cellulose insulation. At an average aged R-value of 3.5r/inch the total assumed R-value is an R21. The minimum required by the energy code is R-38, which is a 45% increase. If additional insulation is added to bring the envelope to the current code additional structure and bracing will need to be added (refer to structural report found later in this document). Wall insulation was not able to be identified. On the original building it was evident that a layer of 1/2" poly-iso rigid insulation was installed prior to the vinyl siding, and the existing drawings from the 1995 addition identify 6" fiberglass insulation. In addition to the insulation, it could not be verified if a code compliant air vapor barrier and / or vapor retarder are installed on either the original building or the addition, although the 1995 drawings also indicate that a vapor barrier is installed on the interior face of the framing behind the gypsum board. These will need to be verified and/or brought up to the current building & energy code should the building be renovated.

**POLICE DEPARTMENT****Hazardous Material Concerns**

It is noted on the most recent renovation addition drawings from 1995 that new gypsum ceilings were to be installed over existing (ACM). Based on this information we are to assume that asbestos containing material (ACM) is present in the building and will be required to be abated as part of either a renovation/addition or for the complete demolition of the existing building. There may also be additional encapsulated hazardous materials in the building, as well as damp-proofing under the slab and in the exterior walls as well. It is recommended that a hazardous material survey be conducted to confirm if these materials are present and what the process to abate will be.

**Code / ADA Concerns**

Several doors do not have ADA (Americans with Disability Act) compliant push/pull clearances. The facility currently has a Limited Use Limited Accessibility (LULA) Lift installed in lieu of an elevator. Inside the elevator machine room there is a 521 CMR (Architectural Access Board Guidelines) variance letter. With a renovation/addition, this will not suffice as a compliant method of vertical accessible circulation and a modern elevator and machine room will need to be installed that is in compliance 524 CMR (Massachusetts State Elevator Code)(012 / 013). Current stairs between the training room, police offices and the fire department do not have areas of rescue either. In order for this facility to be ADA compliant, accessible means of egress must be installed.

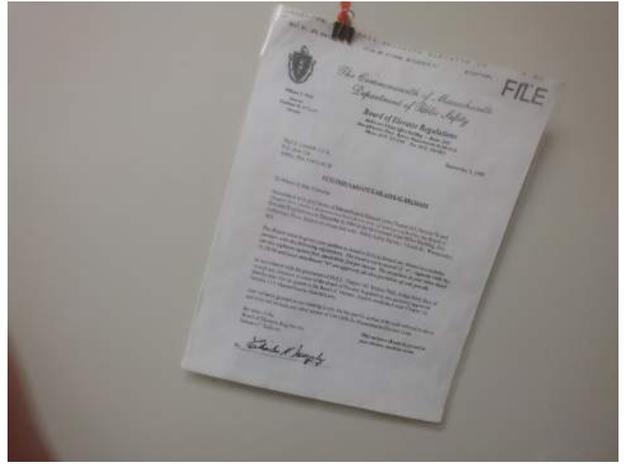
**Booking and Cells**

There is currently only a single cell. The cell is directly off of the booking room and does not have compliant sight sound separation. Also, the penal toilet sink combo is not an ADA compliant fixture. The diffusers for the HVAC system to the cell appears to be MaDPH 105 CMR (Massachusetts Department of Public Health Regulations) compliant. The requirement is that the perforations are no larger than 1/8". The ceilings are low, approximately 8'-6". It is recommended that ceilings in the cells are kept to a minimum of 10'-0". We were not able to determine if the existing HVAC system comply with MaDPH requirements for air hourly air changes while a person is detained (014 / 015).

The booking area is functional and adequately sized. The biggest concern in this space is the millwork. All of the counters and cabinets are plastic laminate over particle board. The adhesive has begun to break down over time and is causing the finish to de-laminate. This material is very rigid and sharp, and should a detainee get a hold of a piece of this material, it can be used as a weapon to either harm oneself or the attending officer (016 / 017).



012



013



014



015



016



017

## Dispatch

The space is very small for a similarly sized dispatch center. Consoles are against the wall in the corner and do not allow for direct visual access to the public at the lobby. Storage is limited. Public facing walls and windows are not bullet resistant. Finishes are in fair condition, but because of the layout of the space the department has reported that cleaning is an issue(018 / 019). There is also no central vacuum system installed. Since this continually operated it is recommended that a central vacuum system be utilized to reduce noise while cleaning and cut down on distractions to the dispatchers.

The current design of the dispatch center is also not NFPA 1221 compliant (Standards for the installation, maintenance, and use of emergency services communication systems). While this is not required by the building code, this is a recommended standard for dispatch facilities. Current deficiencies with this facility would include but are not limited to, 2 hour fire separation of the dispatch center and communications equipment (server/IT) from the rest of the building, the building being of non-combustible construction, and direct egress for the dispatchers to the exterior of the building. The construction of the current building will not allow for this facility to be compliant with this standard.

## SHARED FACILITIES

### Lobby

The lobby is generally small and connects both police and fire administration. There is a single small conference room that will seat 6-8. There are (2) single hold restrooms, male and female. A concern with the layout of the lobby is that it has several locations where a person can conceal themselves from direct view of the dispatchers which is a potential safety concern for staff.

### Training Room

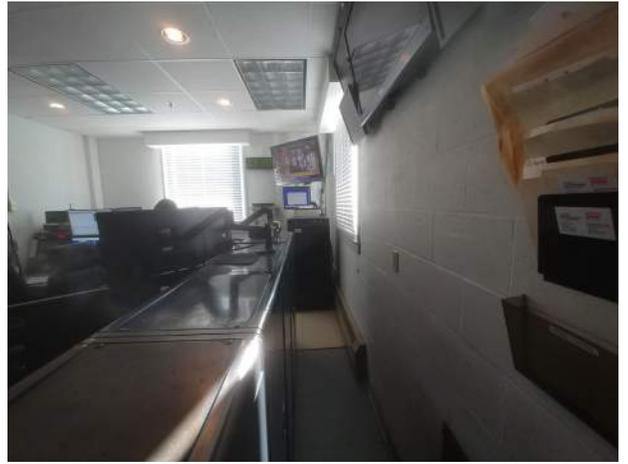
The existing training room is in good condition. Technology upgrades would be necessary. The ceiling height for the size of the room is too low for adequate displays. If this space was to be renovated for use as a modern training room and Emergency Operations Center (EOC), additional monitors should be placed around the perimeter and power and data floor boxes should be installed under the tables (020 / 021).

### Fitness

Fitness Room is small for the size of the department. Flooring is broadloom carpet, which is not appropriate for sanitation or reducing sound transfer to the floor below. Locker facilities are small and do not provide adequate personnel storage(22 / 23).



018



019



020



021



022



023

The apparatus bays are in fair condition. The slab is called out as 6" concrete per the 1995 addition drawings with no radiant flooring. For modern loads imposed on these slabs it is preferred that an 8" slab with radiant flooring be provided (024). The transitions between the slab and the apron are deteriorating, causing cold air and water to infiltrate under the overhead doors (025). Floor drainage is undersized. Typically 24'-0" long trench drains should be installed on center between each bay rather than single 4" round drains (027).

Storage for the department is an issue. Currently, items that should be stored in separate rooms are stored in racks within the bays (026). In addition to storage, the adjacencies to the bays is a health issue. Break and kitchen areas, the day room and bunks are all directly off of the apparatus bay without a transition zone. Best practices require a transition zone where hazardous particles can be removed from clothing when going from the 'hot zone' to the 'cold zone'. There should also be positive pressure from cold to hot as well to prevent the spread of containments. This is a necessity in new fire station design to reduce the exposure to toxic chemicals and debris.

The rest of the fire facility is undersized. Most rooms serve multiple purposes, where they should only serve one. As an example, the day room also has EMS storage for the within it. The bunk room is only a single room with 2 beds, making it awkward for male and females to serve on the same 24 hour shift.

Finishes are in poor condition. Many are close to the end of their usable life and should be replaced with more durable finishes that will withstand the additional abuse they receive as a result of the nature of how firefighters conduct their daily business.



024



025



026



027



028



029

## SUMMARY

The existing building has many critical deficiencies for a modern public safety building. It is significantly undersized for the sizes of these departments and their functions. The fire, police and dispatch functions are not designed to meet current standards for safety and functionality. The buildings structure is significantly deficient. Many of the interior and exterior finishes are near the end of their usable life. There is the presence of hazardous materials in the building, both in the finishes and due to the lack of separation of the apparatus bays and the rest of the facility. Based on these findings and of those under the MEP and structural reviews found later in this report it is our recommendation that it is practically infeasible for this building to be renovated and/or added on to in a way that it would appropriately serve its function.

*EXISTING FACILITY ASSESSMENT*  
*STRUCTURAL NARRATIVE*



## STRUCTURAL NARRATIVE

February 4, 2019

Tecton Architects  
One Hartford Square West  
Hartford, CT 06106  
Attn: Matthew Salad

Re: Structural Review  
Westminster Public Safety Complex  
South Street  
Westminster, MA

Dear Mr. Salad:

As per your request, Johnson Structural Engineering (JSE) has performed a structural review of the existing Westminster Public Safety Complex. The structural review included a visual inspection of the exposed building structure and a structural code review to identify the structural implications of future alterations, renovations, and a potential addition. The following report summarizes the results of the structural review.

### Existing Condition

Travis Alexander of JSE performed a site visit at the Westminster Public Safety Complex on January 22, 2019 to visually inspect the existing building structure. Please note that the inspection was limited to the existing structure that was accessible at the time of the site visit. The building is comprised of the original two-story structure, which houses the Police Department, and an addition that was constructed in 1995-1996, which houses the Fire Department. A majority of the structure is concealed by hard ceilings. The roof structure for the original building is comprised of wood trusses that are spaced at 2'-0" on center (o.c.) (see photograph #1). The second floor framing were not accessible during the site visit. It is likely that the second floor structure is comprised of wood joists that are supported by dropped beams and steel columns (see photograph #2). It is assumed that the dropped beams are steel W-shape beams. There are numerous CMU partition walls that stop just below the hard ceiling and are not anchored to the floor structure above (see photograph #3). The first floor is a concrete slab-on-grade. Numerous hairline cracks were observed along the concrete slab in the mechanical room of the Police Department (see photograph #4). It appears that the concrete slab is not properly sloped in the garage bay at the Police Department due to standing water that was observed during the site visit (see photograph #5). It is assumed that the existing exterior walls and full height interior masonry walls that align floor to floor act as shear walls, and therefore comprise the lateral system of the building.

A set of the original architectural drawings from the 1995 Fire Department addition were provided to your office during the site visit. The drawings were prepared by Haynes Lieneck and Smith Inc. and dated February 23, 1995. The drawings indicate that the roof structure for the addition is comprised of plywood sheathing supported by wood trusses that are spaced at 2'-0" o.c. The second floor structure is comprised of plywood



1 - Roof Structure - Police Department



2 - Second Floor Structure - Police Department

sheathing supported by wood trusses that are spaced at 2'-0" o.c. The roof framing and second floor framing are supported by 2x6 wood stud bearing walls along exterior and interior bearing lines. It is assumed that the existing exterior and interior wood stud walls that align floor to floor act as shear walls, and therefore comprised the lateral system of the building.

### **Structural Code Review**

The International Existing Building Code 2015 (IEBC) and the 9th Edition of the Massachusetts State Amendments to the International Building Code 2015 (780 CMR) were reference for the structural code review.

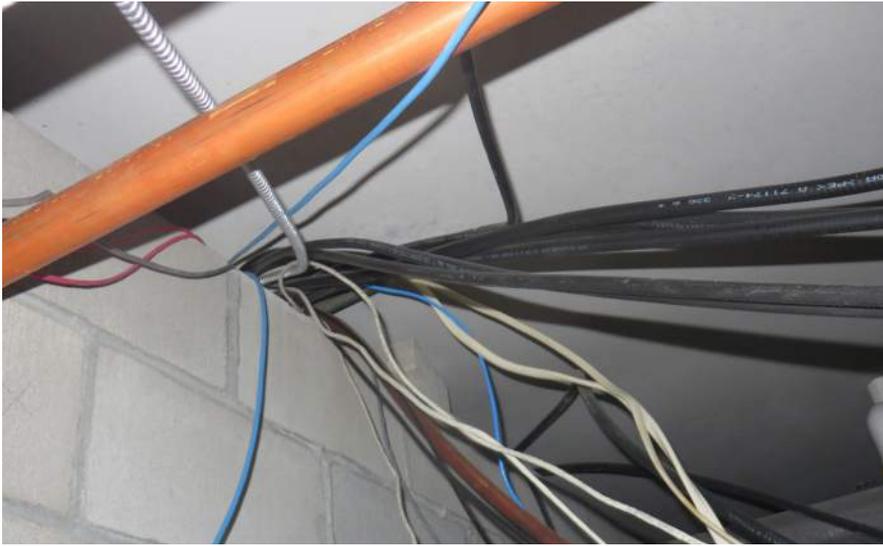
For the purpose of the structural code review, it is assumed that the entire building will be involved in alterations and renovations. Since the work area exceeds 50 percent of the building area, the proposed alterations and renovations are classified as Level 3 Alterations (IEBC Section 505). The structural requirements provided in IEBC Chapter 9 must be satisfied for Level 3 Alterations.

### **Gravity System**

The second floor area in the Police Department is currently used as office space. It is likely that the alterations and renovations will not result in a change of use for the space or impose any additional load onto the existing second floor framing (IEBC Section 907.3). In order to verify the live load capacity of the existing second floor structure, selective demolition will need to be performed in order to expose the framing members.

The second floor area in the Fire Department is currently used as a training room. It is likely that the alterations and renovations will not impose any additional load onto the existing second floor framing or result in an increase in the live load (IEBC Section 907.3). In order to verify the live load capacity of the existing second floor wood trusses, selective demolition will need to be performed to expose the trusses. Please note that the second floor structure for the addition was likely designed for 100 pounds per square foot (psf) for assembly space with moveable seats per the 5th Edition of the Massachusetts State Building Code from when the 1995 addition was originally designed.

It is JSE's recommendation that the R-value of the insulation in the attic space for both the original building and the 1995 addition is not increased over the R-value of the insulation that currently exists. An increase in the R-value of the attic insulation will result in less heat loss through the attic and roof structure. The heat loss helps to melt any built-up snow on the roof. If there is less heat loss through the attic and roof structure, then there could be more snow build-up on the roof. A structural analysis will need to be performed to verify the snow load capacity of the existing roof trusses that frame the roof over the original portion of the building. It is likely that the roof structure for the 1995 addition were designed for a 35psf snow load per the 5th Edition of the Massachusetts State Building Code. Please note that the current 780 CMR design snow load for "essential facilities" located in Westminster, Massachusetts is 50.4psf.



3 - CMU walls to underside of hard ceiling - Police Department



4 - Concrete slab-on-grade hairline cracks - Police Department



5 - Standing water in Sally Port - Police Department

## Lateral System

As previously stated, it is assumed that the existing exterior walls and full height interior masonry walls that align floor to floor in the original building and the existing exterior walls and interior bearing walls of the 1995 addition act as shear walls, and therefore comprise the lateral system of the building. If the proposed alterations and renovations result in new openings within the existing shear walls or the demolition of any existing shear walls which increases the demand-capacity ratio for the existing shear walls that are to remain by more than 10 percent, then the existing shear walls that remain will need to be reinforced accordingly. Typical reinforcing will likely include additional hold-downs and/or straps at the ends of the shear walls and plywood sheathing. Please note that the current design wind load and seismic force are greater than those specified in the 5th Edition of the Massachusetts State Building Code from when the 1995 addition was designed.

Wall ties must be installed to anchor all existing masonry walls to the floor and roof diaphragms (IEBC Section 907.4.5).

## Addition

If any new additions are proposed as part of the alterations and renovations to the existing building, then the structural design of the addition must comply with the gravity and loads specified in the International Building Code 2019 for new construction and the requirements specified in IEBC Chapter 11. Any new additions must be kept structurally separated from the existing building in order to avoid imposing any additional lateral load into the lateral system of the existing building. If the addition imposes any snow drift onto the existing roof structure, then the existing roof structure will need to be reinforced accordingly.

If you have any questions regarding this report, please do not hesitate to call.

Sincerely Yours,  
Johnson Structural Engineering, Inc.

Robert A. Johnson, P.E.  
President



*EXISTING FACILITY ASSESSMENT*  
*MEP NARRATIVE*



### EXISTING FIRE PROTECTION SYSTEM

1. The building currently has a fully automatic wet sprinkler system installed throughout the whole facility. The fire protection service enters the Apparatus Bay and piping is routed to feed all spaces in the building. This service is 8" from the site into the building and then reduced to 4" inside the building. All piping was observed to be steel with mechanical and screwed fittings. This system appears to have been installed in the 1995 renovation and is nearing the end of its useful life. (FP-1)

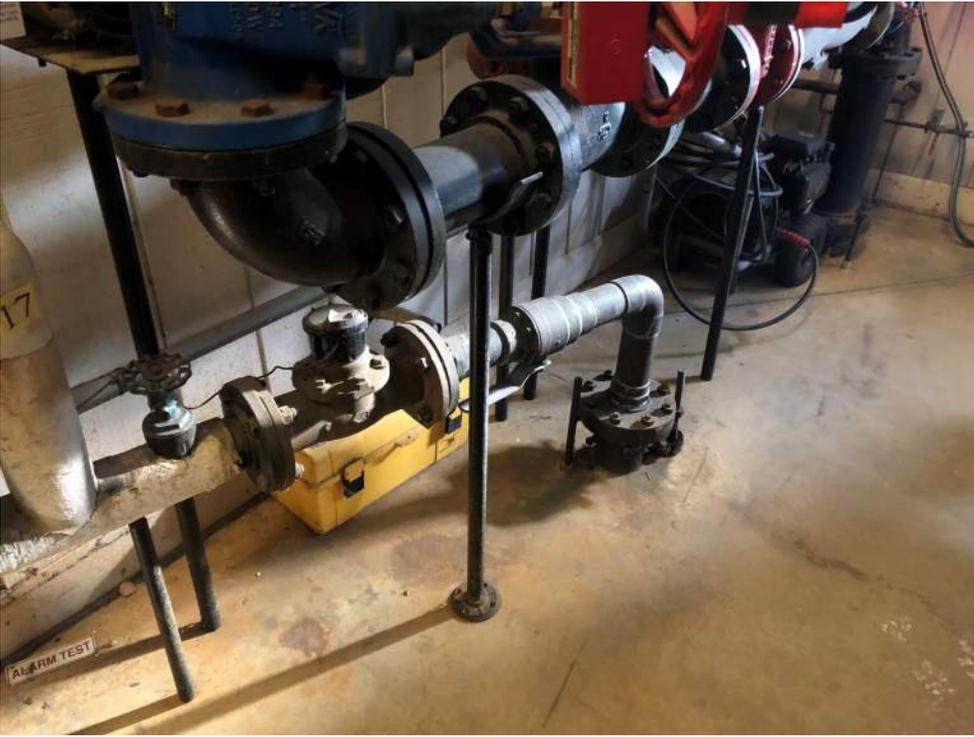


FP-1

## PLUMBING NARRATIVE

### EXISTING PLUMBING AND PIPING SYSTEMS

1. Domestic Water Service: The domestic water service enters the building in the Apparatus Bay. The water service to the building is 4" and reduces to 2 ½" inside. The service and meter appears to have been installed in the 1995 renovation and is nearing the end of their useful life. (P-1)
2. Domestic Water Piping: The domestic water piping in the building was observed to be copper with soldered joints. This piping appears to have been installed in the 1995 renovation and is nearing the end of their useful life.
3. Natural Gas Service: The natural gas service enters the building on the north side of the building. Natural gas piping was observed to be steel with welded and threaded joints. This gas service appears in good condition but appears to have been installed in the 1995 renovation and is nearing the end of its uses full life. The natural gas service feeds the boilers and water heaters. (P-2)
4. Sanitary and Storm: The building's sanitary and storm piping was observed to be cast iron and copper. All piping's appears to have been installed in the 1995 Renovation and at the end of its useful life. There is no internal storm drainage piping as all storm is handled with gutters and downspouts on the edge of the roof.
5. Domestic Hot Water System: Domestic water is currently generated by a single gas fired Water Heater. The heater is a Rheem 82 Gallon Tank with an input of 156,000 BTUH. The tank was manufactured in 2010 and is in good condition. (P-3)



P-1



P-2



P-3

## MECHANICAL NARRATIVE

### MECHANICAL SYSTEMS

#### Existing Boiler Plant

1. The existing boiler plant consists of three (3) boilers. One boiler feeds the Fire Department side while the other feeds the Police Department Side. The first boiler feeds the Fire Department side and is a natural gas Burnham Boiler rated at 800,000 BTUH input. (M-1) This boiler appears to have been installed in the 1995 renovation and is nearing the end of its useful life. The other two (2) boilers are natural gas fired Peerless Boilers rated at 200,000 BTUH input each. (M-2) These boilers were installed around 2006 and are in good working condition.

#### Existing Heating, Ventilating, and Air Conditioning Devices

1. The building is currently heated through the use of hydronic baseboard radiation, electrical baseboard radiation, hydronic fan coils and hydronic unit heaters. The age of the terminal devices varies from original to the building to the 1995 renovation. (M-3) The majority of all terminal units were installed in the 1995 renovation. With the different ages of the equipment most are nearing the end of their useful life while some are past their useful life. Piping serving all terminal devices was observed to be a combination of copper and steel. This piping was also installed in the 1995 renovation and is nearing the end of its useful life.
2. Exhaust from bathrooms, storage rooms and janitor's closets are achieved through the use of ceiling mounted exhaust fans. The fans are ducted to the outside with sheet metal ductwork. These fans were installed in the 1995 renovation and at the end of their useful life.
3. Air Conditioning in the facility was achieved through the use of Ductless Split Air Conditioners. Air conditioning was limited to Second Floor Server Room, Booking, Dispatch, Control and Bunk Rooms. Some of these air conditions are from the 1995 renovation and are at the end of their useful life while a couple have been put in within the last few years. (M-4) All other areas that had air conditioning were from window mounted packaged Air Conditioners.
4. The apparatus bay is currently served by an exhaust system that ventilates the bays. This system brings 100% outside air into the south side of the bays and exhausts it on the north side of the space. The trucks in this space are also served by a vehicle exhaust system that attaches the exhaust outlets of the vehicles. (M-5) While these systems meet the codes they require a lot of exhaust air that needs to be heated and is not very energy efficient. These systems appear to have been installed in the 1995 renovation and are nearing the end of their useful life.



M-1



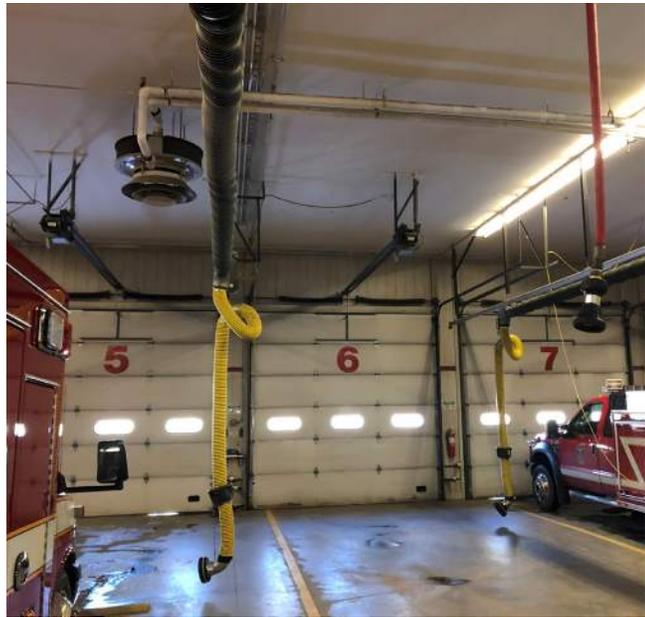
M-2



M-3



M-4



M-5

## ELECTRICAL NARRATIVE

### ELECTRICAL SYSTEMS

#### Electrical Service and Distribution:

1. Electrical services: The service to this building is a 208Y/120V – 3 phase, 400 Amps underground feed. It terminates at a main distribution panel in the Main Electrical Room of the Building. The main distribution panel is manufactured by Siemens and was installed in the 1995 Renovation. This panel is nearing the end of its useful life. (E-1)
2. Electrical distribution: The electrical infrastructure of this building received a major overhaul in 1995. At this time the new addition was provided with a complete new electrical distribution system. The original portion of the building was back fed from the new service and the majority of the original wiring and panels were existing to remain. The wiring that is original is past its useful life and the wiring that was installed in the 1995 renovation is nearing the end of its useful life.

#### Existing On Site Power Generation System

1. The building is currently served by an onsite diesel generator. The generator is manufactured by Kohler and rated for 60 KW. This generator serves backup for major components in the building but is not for life safety items. (E-2)

#### Existing Fire Alarm System

1. Fire Alarm Panel: The building is equipped with a Notifier System 5000 Fire Alarm Control Panel located at the electrical room. This panel is at the end of its useful life and is not addressable.



E-1



E-2

### Interior Lighting

1. Lighting is accomplished by the use of 1'x4', 2'x2' and 2'x4' Fluorescent fixtures, with T8 lamps. These fixtures were installed in the 1995 renovation and are at the end of their useful life. (E-3)
2. Lighting fixtures are generally controlled by wall mounted toggle switches. No occupancy sensor and daylight control devices were observed in the building, with the exception of a few combination switch/sensors that have been added.

### Exit Signs and Emergency Lighting

1. Emergency Lighting: Emergency lighting is provided via an emergency lighting battery packs located in the fixtures of the building.
2. Exit signs within the building are of mixed type. Most of the signs are aged and at the end of their useful life.

### Exterior Lighting

1. Exterior lighting is currently accomplished by building-mounted wall packs mounted on the perimeter walls of the building.



E-3



*POLICE STATION PROGRAM*



**Police Facility**

New Programmed Area Name	Program Area
<b>1 . Public</b>	
1.01 Vestibule	80 s.f.
1.02 Lobby	450 s.f.
1.03 Public Interview/Licensing Room	160 s.f.
1.04 Male Restroom	160 s.f.
1.05 Female Restroom	160 s.f.
Subtotal:	1010 s.f.
<b>2 . Dispatch Center</b>	
2.01 Dispatch Center	450 s.f.
2.02 Dispatch Supervisor	120 sf
2.03 Unisex Restroom	65 s.f.
2.04 Comm Eq. / IT	200 s.f.
2.05 Break Area	135 s.f.
Subtotal:	1105 s.f.
<b>3 . Records</b>	
3.01 Records Archive	120 s.f.
3.02 Central Photocopy	50 s.f.
3.03 Office Supply Storage	10 s.f.
Subtotal:	180 s.f.
<b>4 . Community/Training Room</b>	
4.01 Training Room	1360 s.f.
4.02 Supply Storage	25 s.f.
4.03 Furniture Storage	100 s.f.
4.04 Kitchenette	20 s.f.
Subtotal:	1505 s.f.
<b>5 . Patrol Facilities</b>	
5.01 Sergeants	240 s.f.
5.02 Patrol Conference	150 s.f.
5.03 Report Preparation/Squad Room	200 s.f.
5.04 Quartermaster Storage	80 s.f.
5.05 Weapons Cleaning	40 s.f.
5.06 Armory	40 s.f.
Subtotal:	750 s.f.

## SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Police Facility

New Programmed Area Name	Program Area
<b>6 . Investigative</b>	
6.01 Detective's Office x 2	280 s.f.
6.02 Interview Room	100 s.f.
6.03 Equipment Storage Room	12 s.f.
Subtotal:	392 s.f.
<b>7 . Department Administration</b>	
7.01 Administrative Assistant	120 s.f.
7.02 Reprographics/Work Area	20 s.f.
7.03 Future Office	120 s.f.
7.04 Lieutenant's Office	160 s.f.
7.05 Chief's Office	180 s.f.
7.06 Conference Room	320 s.f.
Subtotal:	920 s.f.
<b>8 . Staff Facilities</b>	
8.01 Male Restroom/shower	210 s.f.
8.02 Male Locker Room	400 s.f.
8.03 Female Restroom/shower	160 s.f.
8.04 Female Locker Room	110 s.f.
8.05 Break Room	180 s.f.
8.06 Miscellaneous Male Restrooms	65 s.f.
8.07 Miscellaneous Female Restroom	65 s.f.
8.08 Fitness Center	500 s.f.
Subtotal:	1690 s.f.
<b>9 . Property and Evidence</b>	
9.01 Evidence Laboratory	150 s.f.
9.02 Evidence Receiving	40 s.f.
9.03 Evidence Storage	400 s.f.
Subtotal:	590 s.f.

Police Facility

New Programmed Area Name	Program Area
<b>10 . Prisoner Processing</b>	
10.01 Sally Port (1-cruiser)	450 s.f.
10.02 Processing Area	250 s.f.
10.03 Holding Cell	50 s.f.
10.04 Intoxilyzer Area	12 s.f.
10.05 Custodial Closet	20 s.f.
10.06 Interview Room	100 s.f.
10.07 Detention Restroom/shower	50 s.f.
	Subtotal: 932 s.f.
<b>11 . Detention Facilities</b>	
11.01 Unisex Cells (x3)	400 s.f.
	Subtotal: 400 s.f.
<b>12 . Vehicle Storage</b>	
12.01 Vehicle Processing/Cruiser Maintenance	960 s.f.
12.02 Mechanic's Storage	40 s.f.
	Subtotal: 1000 s.f.
<b>13 . Building Services</b>	
13.01 Custodial Closets x 1	20 s.f.
13.02 Facility Maintenance Storage	80 s.f.
13.03 Boiler Room	200 s.f.
13.04 Sprinkler Room	50 s.f.
13.05 Air Handling Equipment Room	TBD s.f.
13.06 Electrical Room	80 s.f.
13.07 Emergency Electrical Room	60 s.f.
	Subtotal: 490 s.f.
<b>14 . Vertical Circulation</b>	
14.01 Stair x 2 x 2-floors	800 s.f.
14.02 Elevator x 2-floors	120 s.f.
14.03 Elevator Machine Room	60 s.f.
	Subtotal: 980 s.f.

## SPACE NEEDS ASSESSMENT

Westminster, Massachusetts  
Space Needs Summary

Police Facility

New Programmed Area Name	Program Area
<b>Summation</b>	
Facility net area:	11,944 s.f.
Net to gross adjustment (30%)	3,583 s.f.
<b>Facility gross area total:</b>	<b>15,527 s.f.</b>

Police Station

New Programmed Area Name

Program Area

**1 . Public**

**1.01 Vestibule 80 s.f.**

**Security**

- free access from exterior
- emergency lockdown of inner doors
- ballistic protection in any wall interfacing staff areas

**Electrical**

- fire alarm annunciator panel

**1.02 Lobby 450 s.f.**

**General**

- lobby design should reflect an environment of service to the community and visitors

**Security**

- free access with emergency lockdown provisions
- proximity access control to secure areas
- remote release of doors from dispatch desk
- ballistic protection in all walls interfacing staff areas
- audio/video monitoring

**Furniture**

- 6 waiting chairs

**Equipment**

- 1 public access computer terminals

**Casework and built-ins**

- 1 pamphlet/form rack for community information
- 2 display cases
- drops for cell phone donations, prescription drugs, used needles

**Display**

- 1 flat panel information monitor
- 2 display cases for historic artifacts
- wall space for display of historic artifacts
- graphic Town map for visitor assistance

**Mechanical**

- do not recirculate air into staff areas

**Plumbing**

- 1 drinking fountain (accessible)

**1.03 Public Interview/Licensing Room 160 s.f.**

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Public Interview/Licensing Room - continued****Casework and built-ins**

- 6 lineal foot licensing counter with cabinets below

**Security**

- proximity access control
- audio/video monitoring - to record activities including probate child exchange, internet purchasing, etc.
- ballistic protection in walls interfacing staff areas
- panic device

**Furniture**

- 1 table w/ six chairs

**Equipment**

- 1 computer on licensing counter
- 1 fingerprint station
- 1 wall telephone

1.04

**Male Restroom**

160 s.f.

**Plumbing**

- 1 water closet
- 1 urinal
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

1.05

**Female Restroom**

160 s.f.

**Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

Police Station

New Programmed Area Name	Program Area
--------------------------	--------------

**2 . Dispatch Center**

**2.01 Dispatch Center 450 s.f.**

**Description**

- Dispatchers serve as the public reception point.

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on 20% of surface

**Furniture**

- 2 dispatch consoles with chairs
- 6 rolling two drawer lateral file cabinets (under counter)

**Casework and Built-ins**

- 10 l.f. open countertop
- 6 l.f. wall shelving over files (over counter)
- 4 l.f. upper cabinets (over counter)
- storage for "bug-out" bins

**Equipment**

- 1 multifunction device (on casework)
- 1 logging recorder
- 1 scanner (on casework)
- 1 leaps computer terminal at counter
- central vacuum system
- note: equipment per console as indicated below:

**Console #1**

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

**Console #2**

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Dispatch Center - continued****Display**

- 1 GPS vehicle location monitor
- 2 large flat screen perimeter/cell security monitors
- 1 flat screen television monitor
- 1 4'x6' marker board
- 1 4' x 6' tack board

**Special Design Considerations**

- raised access floor or directly over communications equipment room

**Mechanical**

- dedicated hvac system

**Electrical**

- all systems on UPS and emergency generator
- indirect lighting with multilevel control

**Security**

- proximity access control
- ballistic protection in walls interfacing public areas
- 2-hour fire separation
- ballistic window to lobby w/ natural voice transmission
- ballistic deal tray to lobby
- ballistic package passer

**2.02 Dispatch Supervisors Office****120 s.f.****Furniture**

- 1 Small Dispatch console
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

**Casework and Built-ins**

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

**Acoustics**

- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

Police Station

New Programmed Area Name	Program Area
--------------------------	--------------

**Dispatch Supervisors Office - continued**

**Accessory Areas**

- coat closet

**Equipment**

- 1 wall telephone
- 1 radio speaker

**2.03 Unisex Restroom 65 s.f.**

**Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

**2.04 Communications Equipment Room/IT 200 s.f.**

**Casework and Built-ins**

- 6 lineal feet of open counter

**Equipment**

- 1 electronic radio equipment racks
- 1 network racks
- 1 security rack
- 1 911 racks
- 1 future rack
- 1 administrative computer
- 16 lineal feet of 8' high plywood backboard
- 1 telephone
- 1 logging recorder
- cable tray over racks

**Electrical**

- all systems on UPS and emergency generator
- 4 4" conduits from pole to communications equipment
- 4 4" conduit to antenna/microwave
- 2 future conduit to roof

**Fire Protection**

- pre-action fire suppression system

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Communications Equipment Room / IT - continued****Security**

- access from outside of dispatch
- proximity access control
- masonry wall construction or wire mesh in partitions
- 2 hour fire rating

**2.05 Break Area 135 s.f.****Furniture**

- dining counter with two chairs

**Casework and Built-ins**

- 8 lineal feet of base and upper cabinets

**Equipment**

- 1 refrigerator
- 1 microwave
- 1 coffee machine
- 12 12" x 24" x 72" dispatcher lockers

**Plumbing**

- 1 kitchen sink

**Display**

- 1 flat panel wall monitor with cable tv

**3 . Records****3.01 Records Archive 120 s.f.****Furniture**

- 72 lineal feet of high-density 5 high file storage
- 4 three drawer lateral file cabinets

**Equipment**

- 1 wall telephone

**Security**

- proximity access control

**3.02 Central Photocopy 50 s.f.****Casework and Built-ins**

- 6 lf base cabinets w/ countertop

**Equipment**

- 1 multipurpose machine
- 1 wall telephone(s)

**Security**

- none

Police Station

New Programmed Area Name	Program Area
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<b>3.03</b>	<b>Office Supply Storage</b>	<b>10 s.f.</b>
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**Casework and Built-ins**  
30 lineal feet of shelving on standards

**4 . Community/Training Room**

<b>4.01</b>	<b>Training Room</b>	<b>1360 s.f.</b>
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**Occupants** 50

**General**

- may be used as emergency operations center

**Acoustics**

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

**Furniture**

- 25 2'x6' tables with chairs
- 1 "smart" podium
- center aisle and two side aisles

**Casework and Built-ins**

- 12 lineal feet base cabinets

**Equipment**

- tel/data floor boxes for tables
- 1 wall telephone
- lighting control panel
- Internal and external jacks for cable access television
- telephone line drops from ceiling

**Display**

- 2 4' x 6' marker board
- 2 flat panel monitors
- 4 4'x4' tack boards

**Security**

- proximity access control
- interlock to switch control point
- ballistic protection in walls interfacing staff areas

<b>4.02</b>	<b>Supply Storage</b>	<b>25 s.f.</b>
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**Furniture**

- 2 24" x 36" x 72" metal shelving

**Security**

- standard commercial lockset

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**4.03 Furniture Storage 100 s.f.****General**

- additional space provided for cots, blankets, etc.

**Furniture**

- 2 24" x 36" x 72" metal shelving

**Security**

- standard commercial lockset

**4.04 Kitchenette 20 s.f.****Casework and Built-ins**

- 6 lineal feet of base cabinets
- 6 lineal feet of upper cabinets

**Equipment**

- refrigerator
- coffee machine

**Plumbing**

- 1 sink

**5 . Patrol Facilities****5.01 Sergeants 240 s.f.****Furniture**

- 4 "L" workstations with chair and visitor chair
- 3 three drawer file cabinets

**Equipment**

- 4 computer(s)
- 4 telephone(s)
- 1 multifunction print device

**Display**

- 1 4' x 4' marker board
- 1 4' x 4' tack board
- 1 GPS vehicle tracking monitor

**Security**

- standard commercial lockset

**5.02 Patrol Conference 150 s.f.****Furniture**

- 1 conference table with six chairs

**Equipment**

- 1 computer connection at table

Police Station

New Programmed Area Name	Program Area
--------------------------	--------------

**Patrol Conference - continued**

- 1 wall telephone(s)
- radio speaker with volume control

**Display**

- 1 4' x 6' marker board

**Security**

- standard commercial lockset

**5.03 Report Preparation/Squad Room 200 s.f.**

**General**

- locate adjacent to dispatch with window between
- locate adjacent to licensing with window

**Furniture**

- 3 "L" computer workstations
- 1 conference table with eight chairs
- 4 two drawer lateral files

**Casework and Built-ins**

- 4 lineal feet of three four form cubbies
- 12 lineal feet of open counter over files
- 30 staff mailboxes

**Equipment**

- 1 wall telephone(s)
- radio speaker with volume control

**Display**

- 1 4' x 4' marker board
- 1 4' x 4' tack board

**5.04 Quartermaster Storage 80 s.f.**

**Furniture**

- 6 24" x 36" x 72" five tier metal shelving

**Electrical**

- 2 wall mtd. charging rack
- 1 recharge for radar units

**Security**

- standard commercial lockset

**5.05 Weapons Cleaning 40 s.f.**

**Furniture**

- 1 six foot stainless steel workbench

**Equipment**

- ultrasonic cleaner

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Weapons Cleaning - continued**

- weapons clearing trap
- radio speaker with volume control

**Casework and Built-ins**

- 6 lineal feet of base cabinet with epoxy resin countertop

**Mechanical**

- exhaust for cleaning fluid

**Security**

- none

<b>5.06</b>	<b>Armory</b>	<b>40 s.f.</b>
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**Furniture**

- 6 lineal feet of long gun storage rack
- 2 24" x 36" x 72" six tier metal shelving

**6 . Investigative**

<b>6.01</b>	<b>Detective's Office x 2</b>	<b>280 s.f.</b>
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**Furniture**

- 1 "L" workstation
- 2 two drawer lateral file cabinets
- 2 visitor chairs

**Casework and Built-ins**

- 8 lf open countertop (over files)
- 16 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

**Security**

- standard commercial lockset

<b>6.02</b>	<b>Interview Room</b>	<b>100 s.f.</b>
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**General**

- locate between detective offices

**Furniture**

- 1 fixed table w/ four chairs

**Electrical**

- 1 light switch w/ "in use" light
- 1 panic device
- laptop cable

Police Station

New Programmed Area Name	Program Area
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**Interview Room - continued**

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on one wall

**Security**

- standard commercial lockset
- discreet CCTV audio and video surveillance

**Special**

- one-way glass to each office

6.03 **Equipment Storage Room** **12 s.f.**

**Furniture**

- 2 18" x 36" x 72" - 5 tier shelving

**Security**

- standard commercial lockset

**7 . Department Administration**

7.01 **Administrative Assistant** **120 s.f.**

**Furniture**

- 1 "U" workstation with chair
- 3 four drawer lateral file cabinets
- 1 typewriter stand

**Equipment**

- 1 computer
- 1 multifunction device
- 1 telephone
- 1 typewriter

**Security**

- standard commercial lockset

7.02 **Reprographics/Work Area** **20 s.f.**

**Casework and Built-ins**

- 6 lineal feet of base & upper cabinets

**Equipment**

- 1 multifunction printer
- 1 paper shredder
- 1 mail machine

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**7.03 Future Office 120 s.f.****Furniture**

- 1 "U" workstation
- 3 two drawer lateral file cabinets
- 2 visitor chairs

**Casework and Built-ins**

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

**Security**

- standard commercial lockset

**Accessory Areas**

- coat closet

**7.04 Lieutenant's Office 160 s.f.****Furniture**

- 1 "U" workstations
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

**Casework and Built-ins**

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

**Acoustics**

- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

**Accessory Areas**

- coat closet

**7.05 Chief's Office 180 s.f.****General**

- provide direct access from exterior

**Furniture**

- 1 exec. desk w/ credenza
- 2 two drawer lateral files
- 2 visitor chairs

Police Station

New Programmed Area Name

Program Area

**Chief's Office - continued**

**Casework and Built-ins**

- 6 lf open countertop (over files)
- 12 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

**Accessory Areas**

- large closet

**7.06 Conference Room 320 s.f.**

**Furniture**

- 1 conference table w/ 16 chairs

**Casework and Built-ins**

- 6 lineal feet base cabinets

**Equipment**

- 1 telephone
- 1 laptop/projection provision at table
- 1 flat panel monitor

**Acoustics**

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

**Security**

- standard commercial lockset

**8 . Staff Facilities**

**8.01 Male Restroom/shower 210 s.f.**

**Casework and Built-ins**

- 6 lineal feet open countertop
- 6 lineal feet bench

**Plumbing**

- 1 hc toilet stall
- 2 urinals
- 2 sink
- 2 shower

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Male Restroom/shower - continued****Security**

- standard commercial push/pull

**8.02 Male Locker Room 400 s.f.****Equipment**

- 24 2' x 2'-6" x 6' lockers
- 4 space for future lockers
- 1 4' wet gear rack
- 1 shoe shine station
- 1 weapons clearing trap

**Security**

- standard commercial push/pull

**8.03 Female Restroom/shower 160 s.f.****Casework and Built-ins**

- 4 lineal feet open countertop
- 3 lineal feet bench

**Plumbing**

- 1 hc toilet stall
- 1 sink
- 1 shower

**Security**

- standard commercial push/pull

**8.04 Female Locker Room 110 s.f.****Equipment**

- 6 2' x 2'-6" x 6' lockers
- 2 space for future lockers
- 1 2' wet gear rack
- 1 shoe shine station

**Security**

- standard commercial push/pull

**8.05 Break Room 180 s.f.****Furniture**

- 1 table(s) with four chairs

**Casework and Built-ins**

- 8 lf base and upper cab.

**Equipment**

- 1 refrigerator
- 1 microwave (in casework)

Police Station

New Programmed Area Name	Program Area
--------------------------	--------------

**Break Room - continued**

- 1 coffee machine (provision)
- 1 residential oven w/ cooktop
- 1 dishwasher

**Plumbing**

- 1 double bowl sink (in casework)

**8.06 Miscellaneous Male Restroom 65 s.f.**

**Casework and Built-ins**

- 4 lineal feet open countertop

**Plumbing**

- 1 hc toilet stall
- 1 urinals
- 1 sink (in counter)

**Security**

- standard commercial lockset

**8.07 Miscellaneous Female Restroom 65 s.f.**

**Casework and Built-ins**

- 4 lineal feet open countertop

**Plumbing**

- 1 hc toilet stall
- 1 toilet stall
- 1 sink (in counter)

**Security**

- standard commercial lockset

**8.08 Fitness Center 500 s.f.**

**Equipment**

- TBD

**Special**

- mirrors full height one wall

**Acoustics**

- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**9 . Property and Evidence****9.01 Evidence Laboratory 150 s.f.****Furniture**

1 3' x 6' lab tables

**Casework and Built-ins**

24 lineal feet of base cabinets

12 lineal feet of upper cabinets

**Equipment**

1 counter top fuming tank

1 drying cabinet

2 pass thru locker units to evidence storage

**Plumbing**

1 double bowl sink

**Security**

- proximity access control

**9.02 Evidence Receiving 40 s.f.****Furniture**

1 computer station w/printer

**Casework and Built-ins**

5 lineal feet of base cabinet for storage of packaging materials

1 lineal feet of 6 - tier form cubbies

**Equipment**

2 pass thru locker units - two large capacity units minimum

- one from hall
- one unit from prisoner processing

1 refrigerated pass thru (in units above)

**Security**

- proximity access control

**9.03 Evidence Storage 400 s.f.****Furniture**

4 24" x 36" x 72" metal shelving

90 lineal feet of high - density 5 - tier evidence storage system

1 valuables safe

12 lineal feet of locked longarms racks

1 3' x 2' x 6' lockable handgun storage cabinet

1 3' x 2' x 6' vented lockable drug storage cabinet

**Equipment**

1 refrigerator

**Security**

Police Station

New Programmed Area Name	Program Area
--------------------------	--------------

**Evidence Storage - continued**

- proximity access control w/ "pin" keypad
- cctv monitoring

**Weapons Storage 80 s.f.**

**Furniture**

12 lineal feet of long arms rack with shelving for handguns above

**Mechanical**

100% exhaust

**Security**

- proximity access control w/ "pin" keypad
- cctv monitoring

**Bulk Found Property Room 300 s.f.**

**Security**

- overhead door or gate with proximity access control
- proximity access control

**10 . Prisoner Processing**

**10.01 Sally Port (1-cruiser) 450 s.f.**

**General**

- 2 12' x 12' overhead doors for each bay
- 1 man door

**Plumbing**

- 1 eye wash/emergency shower
- 1 floor drain per bay

**Security**

- interlock all doors for one at a time operation
- cctv monitoring of interior and approach
- proximity access control in/out to Pris. Proc.
- proximity access control and remote release of OH doors from dispatch
- wire mesh partition to separate bay for vehicle processing

**10.02 Processing Area 250 s.f.**

**Casework and Built-ins**

- 1 booking control workstation
- 1 booking bench with handcuff rings

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Processing Area - continued****Equipment**

- 1 automated fingerprint machine
- 1 telephone (@ workstation)
- 1 telephone with two handsets for language line services
- 1 computer (@ workstation)
- 6 property lockers - two large enough for guitars/backpacks
- 1 mug shot camera on mount (@ workstation)
  - static gray back drop (to match registry of motor vehicles) w/ height markers

**Security**

- proximity access control
- cctv monitoring of all areas
- panic devices throughout
- automatic openers for doors from sallyport
- use least possible number of cameras to monitor booking
- prisoner release exit
- weapons locker outside all entrances

**10.03 Holding Cell 50 s.f.****Casework and Built-ins**

- 8 lineal foot bench with cuff rail

**Electrical**

- 1 detention grade light fixtures

**Security**

- minimum 10' high ceilings
- detention grade sliding door hardware w/ cuff door
- audio/video surveillance
- visual observation from booking area
- tamper resistant hvac grills - 1/8" holes maximum

**10.04 Intoxilyzer Area 12 s.f.****Casework and Built-ins**

- 6 lineal feet base cabinet w/ epoxy resin countertop
- 1 booking bench w/ cuff rail

**Electrical**

- 1 tel/data for intoxilyzer

**10.05 Custodial Closet 20 s.f.****Plumbing**

- 1 mop sink

Police Station

New Programmed Area Name	Program Area
--------------------------	--------------

**Custodial Closet - continued**

**Equipment**

- 1 mop rack

**Security**

- high security lockset

**10.06 Interview Room 100 s.f.**

**General**

- use for bail and lawyer meetings, provide vestibule near prisoner release exit

**Furniture**

- 1 fixed table w/ two chairs

**Electrical**

- 1 light switch w/ "in use" light
- 1 panic device

**Equipment**

- 1 phone discreetly located

**Acoustics**

- partitions to extend to underside of structure
- Acoustic wall panels on one wall

**Security**

- high security lockset
- discreet CCTV audio and video surveillance w/ local control

**10.07 Detention Restroom/shower 50 s.f.**

**Plumbing**

- 1 handicapped accessible detention combination fixture
- 1 shower stall

**11 . Detention Facilities**

**11.01 Unisex Cells (x3) 400 s.f.**

**Casework and Built-ins**

- 1 32" x 72" x 18" concrete bunk

**Equipment**

- telephone with long phone line

**Plumbing**

- 1 detention combination fixture

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

**Unisex Cells - continued****Electrical**

- 1 detention grade light fixtures
- audio/video surveillance
- tamper resistant hvac grills - 1/8" holes maximum

**12 . Vehicle Storage****12.01 Vehicle Processing/Cruiser Maintenance 960 s.f.****General**

- 2 bays
- 2 12' x 12' overhead door

**Equipment**

- 1 tool cabinet
- 1 6' work bench
- 1 12' tire rack
- 1 55 gallon oil storage tank
- 1 tire balancer
- 1 four post lift

**12.02 Mechanic's Storage 40 s.f.****Furniture**

- 3 24" x 36" x 72" five tier shelving

**Security**

- standard commercial lockset

**13 . Building Services****13.01 Custodial Closets x 1 20 s.f.****Plumbing**

- 1 mop sink

**Equipment**

- 1 mop rack

**Security**

- standard commercial lockset

**13.02 Facility Maintenance Storage 80 s.f.****Furniture**

- 2 18" x 36" x 72"- five tier metal shelving

**Security**

- standard commercial lockset

Police Station

New Programmed Area Name	Program Area
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**13.03 Boiler Room 200 s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**13.04 Sprinkler Room 50 s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**13.05 Air Handling Equipment Room TBD s.f.**

- Use attic or roof top

**13.06 Electrical Room 80 s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**13.07 Emergency Electrical Room 60 s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset
- 2-hour fire rated construction

**14 . Vertical Circulation**

**14.01 Stair x 2 x 2-floors 800 s.f.**

- assumed floor count

**14.02 Elevator x 2-floors 120 s.f.**

- hc sized cab

**14.03 Elevator Machine Room 60 s.f.**

- per elevator requirements

## SITE REQUIREMENTS

Westminster, Massachusetts  
Site Needs Assessment

## Police Facility

New Programmed Area Name	Quantity	Programmed Area
<b>S.1 Building Area</b>		
Building Footprint	2 story	9,704 s.f.
Future Building Growth (25% of programmed area)		2426 s.f.
Subtotal:		13,560 s.f.
<b>S.2 Parking Area</b>		
Visitor Parking	11 spaces	1,815 s.f.
Visitor Handicapped Parking	1 spaces	270 s.f.
Staff Parking	30 spaces	4,950 s.f.
Staff Handicapped Parking	1 spaces	270 s.f.
Cruiser Parking	12 spaces	1,980 s.f.
Oversize Fleet Parking	2 spaces	650 s.f.
Travel Lane Allowance		7,900 s.f.
Subtotal:		17,835 s.f.
<b>S.3 Site Utilities</b>		
Electrical Transformers		100 s.f.
Emergency Generator		250 s.f.
Antenna Tower		500 s.f.
AC Equipment		400 s.f.
Dumpsters		240 s.f.
Storm Water Retention		3,200 s.f.
Subtotal:		4,690 s.f.
<b>S.4 Site Amenities</b>		
Impound Lot	6 spaces	1,200 s.f.
Subtotal:		1,200 s.f.
<b>S.5 Setbacks and Green Space</b>		
Green space		14,900 s.f.
Setbacks		16,000 s.f.
Subtotal:		30,900 s.f.
<b>Summation</b>		
Minimum useable site area		68,185 s.f.
Minimum useable site acerage		1.57 ac.





*FIRE STATION PROGRAM*



Fire Facility

New Programmed Area Name		Program Area
<b>1 .</b>	<b>Public</b>	Initial
1.01	Vestibule	80 s.f.
1.02	Lobby With Display Area	550 s.f.
1.03	Male Restroom	160 s.f.
1.04	Female Restroom	160 s.f.
Subtotal:		950 s.f.
<b>2 .</b>	<b>Administration</b>	
2.01	Meeting/Training/Library/Kitchenette	1400 s.f.
2.02	Meeting Room Storage	144 s.f.
2.03	Conference Room	200 s.f.
2.04	Chief's Office	180 s.f.
2.05	Captains Office	160 s.f.
2.06	Shared Bunk	144 s.f.
2.07	Department Administrators Office	120 s.f.
2.08	Fire Prevention / Shared Office With EMS	300 s.f.
2.09	Workspace	100 s.f.
2.10	Records Storage	100 s.f.
2.11	Network/IT	200 s.f.
2.12	Male Restroom	60 s.f.
2.13	Female Restroom	60 s.f.
Subtotal:		3,168 s.f.
<b>3 .</b>	<b>Firefighters/EMTs</b>	
3.01	Firefighter's/EMTs Day Room	300 s.f.
3.02	Kitchen	250 s.f.
3.03	Dining	200 s.f.
3.04	Exercise	400 s.f.
3.05	Bunkers/Bed	480 s.f.
3.06	Baths/showers	180 s.f.
3.07	Lockers	250 s.f.
3.08	Housekeeping Storage	44 s.f.
3.09	Private Lobby	48 s.f.
Subtotal:		2,152 s.f.

## SPACE NEEDS ASSESSMENT

Westminster, Massachusetts  
Space Needs Summary

Fire Facility

New Programmed Area Name	Program Area
<b>4 . Apparatus/Training</b>	
4.01 Apparatus Bays (12) - 6 double-deep	8320 s.f.
4.02 Training Tower (Second egress stair)	600 s.f.
Subtotal:	8,920 s.f.
<b>5 . Firematic Support</b>	
5.01 Mezzanine	1280 s.f.
5.02 Storage Room #01	100 s.f.
5.03 Work Room	120 s.f.
5.04 Firematic DeCon/Laundry	168 s.f.
5.05 EMS Storage	64 s.f.
5.06 Air Room (SCBA)	200 s.f.
5.07 Turnout Gear	300 s.f.
5.08 Radio/Communications Room	144 s.f.
5.09 Unisex Restroom	60 s.f.
Subtotal:	2,436 s.f.
<b>6 . Support</b>	
6.01 Custodial Closets x 2	96 s.f.
6.02 Mechanical Room	320 s.f.
6.03 Sprinkler Room	TBD s.f.
6.04 Air Handling Equipment Room	TBD s.f.
6.05 Electrical Room	TBD s.f.
6.06 Emergency Electrical Room	TBD s.f.
Subtotal:	416 s.f.
<b>7 . Verticle Circulation</b>	
7.01 Stair x 2 x 2-floors	400 s.f.
7.02 Elevator x 2-floors	120 s.f.
7.03 Elevator Machine Room	60 s.f.
Subtotal:	580 s.f.
<b>Summation</b>	
Facility net area:	18,622 s.f.
Net to gross adjustment (20%)	3,724 s.f.
<b>Facility gross area total:</b>	<b>22,346 s.f.</b>

Fire Station

New Programmed Area Name	Program Area
--------------------------	--------------

**1 . Public**

**1.01 Vestibule 80 s.f.**

**Security**

- free access from exterior
- emergency lockdown of inner doors

**Electrical**

- fire alarm annunciator panel

**1.02 Lobby With Display Area 550 s.f.**

**General**

- lobby design should reflect an environment of service to the community and visitors

**Security**

- free access with emergency lockdown provisions
- proximity access control to secure areas
- audio/video monitoring

**Furniture**

- 6 waiting chairs

**Equipment**

- 1 public access computer terminals

**Casework and built-ins**

- 1 pamphlet/form rack for community information
- 2 display cases

**Display**

- Display for antique pumper - 100 s.f.
- 1 flat panel information monitor
- 2 display cases for historic artifacts
- Plaque & Artwork
- graphic Town map for visitor assistance

**Mechanical**

- do not recirculate air into staff areas

**Plumbing**

- 1 drinking fountain (accessible)

**1.03 Male Restroom 160 s.f.**

**Plumbing**

- 1 water closet
- 1 urinal
- 1 sink
- 1 floor drain with trap primer

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

**Male Restroom - continued****Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

**1.04 Female Restroom 160 s.f.****Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

**2 . Administration****2.01 Meeting/Training/Library/Kitchenette 1,400 s.f.****Description**

- Seating for 75 at tables and chairs
- AV, TV, Screen, Lectern, etc.: Yes, all and Smart board, (2) ceiling projectors, Wi-Fi.
- Kitchenette equipment: small refrigerator, counter, sink, coffee with water line, base
- Computer/communications: Multi-purpose, secondary E.O.C. podium-based media
- Library: Seating for 3-4 at computer study carousels, book and computer supplies
- Adjacencies/comments: Black out shades, sound system, 50/50 split room divider, chair rail all around.

Fire Station

New Programmed Area Name	Program Area
--------------------------	--------------

**2.02 Meeting Room Storage 144 s.f.**

- Use: Store tables and chairs on racks
- Adjacencies/comments: Chair rail all round, wall cabinets on one wall, double doors,

**2.03 Conference Room 200 s.f.**

**Description**

- Seating for 8-10
- AV, TV, Screen, Lectern, etc.: All and whiteboard
- Computer/communications: Yes, Wi-Fi and cable, ceiling projector.

**2.04 Chief's Office 180 s.f.**

**Description**

Chief's Office

**Furnishings**

Desk, credenza, files, table for 6, bookshelves, 4 plex at desk.

**Comments/Adjacencies**

Secure, TV and presenting room off office  
Adjacent to shared bunk

**2.05 Captains Office 160 s.f.**

**Description**

Captain's Office

**Furnishings**

Desk, credenza, files, table for 6, bookshelves, 4 plex at desk

**Comments/Adjacencies**

Adjacent to shared bunk

**2.06 Shared Bunk 144 s.f.**

**Description**

Shared bunk for Chief & Captain

**Furnishings**

- 2 Beds
- 2 Wardrobes

**Comments/Adjacencies**

Ramp up lighting at bunk.

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

**2.07 Department Administrators Office 120 s.f.****Description**

Department Administrator's Office

**Furnishings**

Desk, cabinets, copier, printer, file cabinet.

**Comments/Adjacencies**

Chief and Captain's offices need to be adjacent to front entry.

**2.08 Fire Prevention / Shared Office With EMS 300 s.f.****Description**Fire Prevention, Shared Office  
Seating for 2**Furnishings**

3 desks, storage drawers with flat surface for Plan reviews.

**Comments/Adjacencies**Office needs to be adjacent to entry, Public access  
Secure**2.09 Workspace 100 s.f.****Description**

Base and wall cabinets, solid surface counter, mailing

**Comments/Adjacencies**Widened corridor to house copier, large format  
printer/plotter, office supplies.**2.10 Records Storage 100 s.f.****Description**

File cabinets, lateral files, table and chairs

**Fire Rating**

2 hours

**Comments/Adjacencies**

Secure

**2.11 Network/IT 200 s.f.****Description**4 racks with clearance all round, marked for Verizon and 911  
system rack, server cabinet, desk and chair, task lighting, phone  
backboard, security cameras, Wi-Fi, static dissipating floor.

New Programmed Area Name	Program Area
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**Network/IT - continued**

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**HVAC**

Dedicated split system, fully alarmed for heat, humidity, static electricity.

**Comments/Adjacencies**

- Secure
  - Work space with 10 lineal feet of counter top with storage
  - Adjacencies/comments: Manual sprinkler, combined with Communication System.
- Racks grounded, static dissipation floor tile, 1 UPS for all racks.

**2.12 Male Restroom 60 s.f.**

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**Plumbing**

- 1 water closet
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks

**2.13 Female Restroom 60 s.f.**

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**Plumbing**

- 1 water closet
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**3 . Firefighter's/EMTs**

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**3.01 Firefighter's/EMTs Day Room 300 s.f.**

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**Description**

- Recliners and TV
- Number of Seats/Type: 4 - 6

**Furnishings**

TV, end tables.

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

**Firefighter's/EMTs Day Room - continued****Comments/Adjacencies**

Kitchen and bunk suite, clear path to Bays, easily cleaned, no carpet, no fabric on seating; utilized by Mutual Aid.

**3.02 Kitchen 250 s.f.****Description**

Full Commercial equipment and appliances.

**Equipment**

Ansul hood, stove, stainless steel, 3 – sinks, 1 for food prep, all potential with garbage disposal, 1 hand washing sink, microwave, under counter dish washer, ice machine.

Refrigerators: 2 with freezers attached.

Pantry/Food Storage: 4 locked stainless steel shelves; one for each shift

**Finishes/Materials**

All tile floor and walls, moisture resistant ceiling, Quartz or stainless steel countertops, high-density cabinets.

**Comments/Adjacencies**

Floor drains, 1/4" piping for water to refrigerator and coffee maker, 2'-6" deep counters, comfort height, exterior door to patio.

**3.03 Dining 200 s.f.****Description**

Open to kitchen

**Equipment**

Table for 12, TV mounted on wall.

**Comments/Adjacencies**

Kitchen, Day Room and Bays.

**3.04 Exercise 400 s.f.****Equipment**

- Weights: Yes,
- Cardio: Treadmill and Elliptical
- Universal: Yes
- Other: TV, blocking in walls, mirrors on one wall, hand rail.

**Comments/Adjacencies**

Recycled rubber floor, window to corridor, intercom, high TV mount, high ceiling, dedicated HVAC (good ventilation).

Fire Station

New Programmed Area Name	Program Area
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<p><b>3.05 Bunkers/Bed</b></p> <p><b>Bunk Type</b></p> <ul style="list-style-type: none"> <li>(4) singles - can be converted to doubles in future</li> <li>Separate suites, quiet and private</li> </ul> <p><b>Furnishings</b></p> <p>Bed, wardrobes for 4, small desk</p> <p><b>Comments/Adjacencies</b></p> <p>Overhead fan, individual climate controls, lighting comes up with alarms, tones in bunk. No Zetron system, NFPA 1581 3.3.1 "Sleeping Areas", direct access to Bays.</p>	<p><b>480 s.f.</b></p>
<p><b>3.06 Baths&gt;Showers</b></p> <p><b>Description</b></p> <p>Individual, 2 are required, unisex, sink, shower, water closet.</p> <p><b>Location</b></p> <p>Within bunk suite</p> <p><b>Comments/Adjacencies</b></p> <p>All tile floors and walls, floor drain, solid surface countertop, lever type handles for sink.</p>	<p><b>180 s.f.</b></p>
<p><b>3.07 Lockers</b></p> <p><b>Description</b></p> <p>Separate rooms for call responders.</p> <p><b>Location</b></p> <p>Bunker suite</p> <p><b>Lockers</b></p> <p>40 male, 15 Female : 12" wide full height, sloped top.</p> <p><b>Comments/Adjacencies</b></p> <p>Male and female to share room, tile floor and all exposed walls, phenolic benches.</p>	<p><b>250 s.f.</b></p>
<p><b>3.08 Housekeeping Storage</b></p> <p><b>Description</b></p> <p>Washer, dryer, folding table.</p> <p><b>Comments/Adjacencies</b></p> <p>Shelving, mop and broom holder, dry goods, cleaning supplies.</p>	<p><b>44 s.f.</b></p>

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Fire Station

New Programmed Area Name	Program Area
3.09	<b>Private Lobby</b> <span style="float: right;"><b>48 s.f.</b></span>
	<p><b>Description</b> Access directly to Administration</p>
<b>4 .</b>	<b>Apparatus/Training</b>
4.01	<b>Apparatus Bays (12) - 6 double-deep</b> <span style="float: right;"><b>8,320 s.f.</b></span>
	<p><b>Vehicles - total of 9</b></p> <ul style="list-style-type: none"> <li>• E1 Type: Pump Length: 34' Weight: 47,000 Capacity: 4</li> <li>• E2 Type: Pump Length: 40' Weight: 62,000 Capacity: 6</li> <li>• E3 Type: Pump Length: 32' Weight: 53,000 Capacity: 4</li> <li>• T1 Type: Ladder Length: 42' Weight: 81,000 Capacity: 6</li> <li>• A1 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3</li> <li>• A2 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3</li> <li>• Car 3 Type: Truck Length: 18' Weight: 8,000 Capacity: 2</li> <li>• Boat Type: Nautic Length: 10'</li> <li>• UTV Type: Gravelly Length: 8</li> </ul> <p><b>Type of Bays</b></p> <ul style="list-style-type: none"> <li>• Drive-thru - respond in both directions</li> <li>• All double deep, back to back</li> </ul> <p><b>Overhead Doors</b></p> <ul style="list-style-type: none"> <li>• 2 rows of glass.</li> <li>• Front: Number: 6 Width: 14 Height: 14</li> <li>• Rear: Number: 6 Width: 14 Height: 14</li> </ul> <p><b>Foam</b> Type: 20-30 gallons/5 gallon pails.</p> <p><b>Trench Drains</b> centered under all apparatus – to Oil/Water separator.</p> <p><b>Hose Reals</b> Hannay wall mounted with 50' x 3/4" hose, 6 total; 3 front and 3 rear. One each front and rear with hot and cold water.</p> <p><b>Fume Exhaust</b> Plymovent – hydraulic, all Bays, 2 fans; one for each group of six apparatus.</p> <p><b>Truck Fills</b> Overhead: One, center location. Outdoor hydrant: Yes Location: Adjacent to Apron.</p> <p><b>Overhead Fans</b> BAF or eq.</p> <p><b>Electrical Drops</b> 11 Bays – 20 AMP/Drop.</p> <p><b>Air Drops (2)</b> In-Line Air Dryer, no combination plugs.</p>

Fire Station

New Programmed Area Name	Program Area
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**Apparatus Bays (12) - 6 double-deep - continued**

**Compressed Air**

2 in front and 2 in rear on overhead reels.

**Sinks**

deep bowl.

**Finishes**

Epoxy flooring, non-slip, multi-color with Back0in safety stripe

**Ice Machine**

For ambulances

**Comments/Adjacencies**

*Introduce daylighting, hand towel dispenser at each overhead door pilaster.*

**4.02 Training Tower (Second egress stair) 600 s.f.**

**Description**

Design as integral part of Bays and Connected to Mezzanine.

**Features**

- Rappelling: Yes
- Stairs: Yes
- Roof Access: Yes, reinforce parapet and roof surface at training locations.
- Roof training: Yes
- Windows: Yes, several levels and sizes.
  - a. Need a window at first floor level.
    - Need window at the height of a 2-story residential building for the
  - b. following evolutions: Window entry.
- Hose: Yes
- Confined Space: Yes
- Sprinkler: Yes Dry: Yes
  - a. Use water service as training prop.
- Blackout: Yes
- Hose Drying: Yes Winch: Yes, 2 Ton.
- Other Specialized Training: Modular setup, overhead grid, rappelling points and tie-off, look at materials for walls and bail out points.

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

**5 . Firematic Support****5.01 Mezzanine 1280 s.f.****Description**

Large as possible, attached to tower, share stairs.

**Size**

Full depth of Bays, training, possible storage, no mechanical uses.

**5.02 Storage Room #01 100 s.f.****Description**

Hose, fittings and nozzles

**Location**

Off the bays

**Comments/Adjacencies**

Racks, shelves and wall cabinets

**5.03 Work Room 120 s.f.****Equipment**

- Mechanic: Town does large repairs outside of Station.
- Service: Pump service
- Workbench: Yes
- Tool storage: Yes, hand tools
- Power tools: Grinder, drill press
- Air: Yes, for tools.
- Water: Yes, deep bowl, stainless steel sink.

**Comments/Adjacencies**

Fire department needs stainless steel wall cabinets and shelves.

**5.04 Firematic DeCon/Laundry 168 s.f.****Equipment**

- Sink: Yes, stainless steel with sideboard.
- Extractor: Will need to purchase. Brand: TBA
- Gear dryer: Will need to purchase Dehydrator type.
- Clothes washer: Yes, located on clean side of Station.
- Clothes Dryer: Yes located on clean side of Station.
- Drench/Eye Wash: Yes, cartridge type, proximity to work room.
- Red Bag and Sharps: Yes
- Holding Tank: No, clean at scene or hospital.
- Backboard cleaning: On occasion.

Fire Station

New Programmed Area Name	Program Area
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**Firematic DeCon/Laundry - continued**

- Drench Shower: Yes
- Blood borne pathogens: Minimal, clean at hospital.

**Comments/Adjacencies**

DeCon done at hospital, NFPA 1581. Direct access to Hot Zone and transition area, exterior door, floor drains, hose bib, concrete pad for extractor.

**5.05 EMS Storage 64 s.f.**

**Description**

Restock ambulance, EMS supplies (blankets, bandages, etc.).

**Security**

- Access control
- camera monitored

**Comments/Adjacencies**

Stainless steel shelving all around room. Locked cabinet for meds, duplex outlet for future refrigerator. Locate Adjacent to Ambulance Bays.

**5.06 Air Room (SCBA) 200 s.f.**

**Equipment**

Sink: Yes, 4 compartment, stainless steel, NFPA 1581

Counters: 2 sideboards, mask hooks above sink

Air compressor: Yes, 3 bottles, 4,500 and 5,500 lbs.

7.4.1 Remote fill station: Yes, from compressor to Air Room

SCBA storage: All bottles Rack: 4 on a rack.

Repair: small, masks.

**O2 Storage**

Number of Cylinders: 16 – D and 1 – M. Look at system to hold oxygen tanks (not chains on wall).

**Comments/Adjacencies**

Compressor in separate room. Will need air supply, sound protection and room exhaust.

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

**5.07 Turnout Gear 300 s.f.****Description**

40 required, largest locker possible, secured to walls.

**Equipment**

Racks: Gear Grid or Ready Rack.

**Comments/Adjacencies**

Over Head fans, HVAC and constant exhaust, HEPA Filter, wall mounted, benches, LED lighting, floor drains, 4 – plex outlets around room at top of lockers

**5.08 Radio/Communications Room 144 s.f.****Location**

Watchroom - Adjacent to Bays with direct vision

**Seating requirements**

3

**Door operation**

Control of all 12 doors, numbered

**Equipment**

Traffic control: No, Opticom on trucks, depends on location of Station.

Internal paging system: Yes, and base radio.

Siren: Yes, part of ISO Rating.

Computer equipment: Yes, for each station

Closed Circuit TV, Phones, Weather Station: Yes

File cabinets: Yes

Wall mounted items: Maps

Rechargeable items (plectrons): Portable radio batteries

911 tie in: No

Console:

- Phones, switches, door controls, siren.

Lockable storage: No

**Comments/Adjacencies**

Secondary Communication Center for Dispatch, adhere to HIPPA requirements for report writing.

**5.09 Unisex Restroom 60 s.f.****Plumbing**

Water closet, sink, urinal, hose bib for cleaning, floor drain

**Comments/Adjacencies**

All hard washable surfaces, moisture resistant ceiling.

Fire Station

New Programmed Area Name	Program Area
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**6 . Support**

**6.01 Custodial Closets x 2 96 s.f.**

**Plumbing**

- 1 mop sink

**Equipment**

- 1 mop rack

**Security**

- standard commercial lockset

**6.02 Mechanical Room 320 s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**6.03 Sprinkler Room TBD s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**6.04 Air Handling Equipment Room TBD s.f.**

- Use attic or roof top

**6.05 Electrical Room TBD s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**6.06 Emergency Electrical Room TBD s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset
- 2-hour fire rated construction

**ROOM SUMMARY****Westminster, Massachusetts**  
Detail Space Requirements

Fire Station

**New Programmed Area Name****Program Area****7 . Vertical Circulation**

<b>7.01</b>	<b>Stair x 2 x 2-floors</b>	<b>400 s.f.</b>
	<ul style="list-style-type: none"> <li>• Training tower will be utilized for one of the stairs</li> <li>• assumed floor count</li> </ul>	
<b>7.02</b>	<b>Elevator x 2-floors</b>	<b>120 s.f.</b>
	<ul style="list-style-type: none"> <li>• hc sized cab</li> </ul>	
<b>7.03</b>	<b>Elevator Machine Room</b>	<b>60 s.f.</b>
	<ul style="list-style-type: none"> <li>• per elevator requirements</li> </ul>	

Fire Facility

New Programmed Area Name		Quantity	Programmed Area	
<b>S.1</b>	<b>Building Area</b>			
	Building Footprint	2 story	13,966	s.f.
	Future Building Growth (25% of programmed area)		3492	s.f.
	Subtotal:		17,458	s.f.
<b>S.2</b>	<b>Parking Area</b>			
	Visitor Parking	4 spaces	660	s.f.
	Visitor Handicapped Parking	1 spaces	270	s.f.
	Staff On call Parking	30 spaces	4,950	s.f.
	Staff Handicapped Parking	1 spaces	270	s.f.
	Staff Parking	4 spaces	660	s.f.
	Travel Lane Allowance		10,000	s.f.
	Subtotal:		16,810	s.f.
<b>S.3</b>	<b>Site Utilities</b>			
	Electrical Transformers		100	s.f.
	Emergency Generator		300	s.f.
	Antenna Tower		500	s.f.
	AC Equipment		400	s.f.
	Dumpsters		240	s.f.
	Storm Water Retention		3,500	s.f.
	Subtotal:		5,040	s.f.
<b>S.4</b>	<b>Site Amenities</b>			
	Patio / Grill area		1,200	s.f.
	Training Props	6 spaces	1,200	s.f.
	Subtotal:		2,400	s.f.
<b>S.5</b>	<b>Setbacks and Green Space</b>			
	Green space		12,700	s.f.
	Setbacks		15,100	s.f.
	Subtotal:		27,800	s.f.
	<b>Summation</b>			
	Minimum useable site area		60,779	s.f.
	Minimum useable site acreage		1.4	ac.



*COMBINED PUBLIC SAFETY PROGRAM*



Public Safety

New Programmed Area Name	Program Area
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**1 . Shared Facilities**

1.01	Vestibule	80 s.f.
1.02	Lobby With Display Area	550 s.f.
1.03	Male Restroom	160 s.f.
1.04	Female Restroom	160 s.f.
1.05	Training Room	1400 s.f.
1.06	Kitchenette/Coffee	20 s.f.
1.07	Supply Storage	25 s.f.
1.08	Furniture Storage	100 s.f.
1.09	Fitness Center	500 s.f.

Subtotal: 2995 s.f.

**Police Facilities**

**2 . Public**

2.01	Public Interview/Licensing Room	160 s.f.
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Subtotal: 160 s.f.

**3 . Dispatch**

3.01	Dispatch Center	450 s.f.
3.02	Dispatch Supervisors Office	120 s.f.
3.03	Unisex Restroom	65 s.f.
3.04	Communications Equipment Room/IT	200 s.f.
3.05	Break Area	135 s.f.

Subtotal: 970 s.f.

## SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Public Safety

New Programmed Area Name	Program Area
<b>4 . Records</b>	
4.01 Records Archive	120 s.f.
4.02 Central Photocopy	50 s.f.
4.03 Office Supply Storage	10 s.f.
Subtotal:	
	180 s.f.
<b>5 . Patrol Facilities</b>	
5.01 Sergeants	240 s.f.
5.02 Patrol Conference	150 s.f.
5.03 Report Preparation/Squad Room	200 s.f.
5.04 Quartermaster Storage	80 s.f.
5.05 Weapons Cleaning	40 s.f.
5.06 Armory	40 s.f.
Subtotal:	
	750 s.f.
<b>6 . Investigative</b>	
6.01 Detective's Office x 2	280 s.f.
6.02 Interview Room	100 s.f.
6.03 Equipment Storage Room	12 s.f.
Subtotal:	
	392 s.f.
<b>7 . Department Administration</b>	
7.01 Administrative Assistant	120 s.f.
7.02 Reprographics/Work Area	20 s.f.
7.03 Future Office	120 s.f.
7.04 Lieutenant's Office	160 s.f.
7.05 Chief's Office	180 s.f.
7.06 Conference Room	320 s.f.
Subtotal:	
	920 s.f.

Public Safety

New Programmed Area Name	Program Area
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**8 . Staff Facilities**

8.01	Male Restroom/shower	210 s.f.
8.02	Male Locker Room	400 s.f.
8.03	Female Restroom/shower	160 s.f.
8.04	Female Locker Room	110 s.f.
8.05	Break Room	180 s.f.
8.06	Miscellaneous Male Restrooms	65 s.f.
8.07	Miscellaneous Female Restroom	65 s.f.

Subtotal: 1190 s.f.

**9 . Property and Evidence**

9.01	Evidence Laboratory	150 s.f.
9.02	Evidence Receiving	40 s.f.
9.03	Evidence Storage	400 s.f.

Subtotal: 590 s.f.

**10 . Prisoner Processing**

10.01	Sally Port (1-cruiser)	450 s.f.
10.02	Processing Area	250 s.f.
10.03	Holding Cell	50 s.f.
10.04	Intoxilyzer Area	12 s.f.
10.05	Custodial Closet	20 s.f.
10.06	Interview Room	100 s.f.
10.07	Detention Restroom/shower	50 s.f.

Subtotal: 932 s.f.

**11 . Detention Facilities**

11.01	Unisex Cells (x3)	400 s.f.
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Subtotal: 400 s.f.

## SPACE NEEDS ASSESSMENT

Westminster, Massachusetts  
Space Needs Summary

## Public Safety

New Programmed Area Name	Program Area
<b>12 . Vehicle Storage</b>	
12.01 Vehicle Processing/Cruiser Maintenance	960 s.f.
12.02 Mechanic's Storage	40 s.f.
Subtotal:	1,000 s.f.
<b>Fire Facilities</b>	
<b>13 . Administration</b>	
13.01 Conference Room	200 s.f.
13.02 Chief's Office	180 s.f.
13.03 Captains Office	160 s.f.
13.04 Shared Bunk	144 s.f.
13.05 Department Administrators Office	120 s.f.
13.06 Fire Prevention / Shared Office With EMS	300 s.f.
13.07 Workspace	100 s.f.
13.08 Records Storage	100 s.f.
13.09 Network/IT	200 s.f.
Subtotal:	1,504 s.f.
<b>14 . Firefighter's / EMTs</b>	
14.01 Firefighter's/EMTs Day Room	300 s.f.
14.02 Kitchen	250 s.f.
14.03 Dining	200 s.f.
14.04 Bunkers/Bed	480 s.f.
14.05 Baths/Showers	180 s.f.
14.06 Lockers	250 s.f.
14.07 Housekeeping Storage	44 s.f.
14.08 Private Lobby	48 s.f.
Subtotal:	1,752 s.f.
<b>15 . Apparatus/Training</b>	
15.01 Apparatus Bays (12) - 6 double-deep	8320 s.f.
15.02 Training Tower (Possible to be third stair)	600 s.f.
Subtotal:	8,920 s.f.

Public Safety

New Programmed Area Name	Program Area
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**16 . Firematic Support**

16.01	Mezzanine	1280	s.f.
16.02	Storage Room #01	100	s.f.
16.03	Work Room	120	s.f.
16.04	Firematic DeCon/Laundry	168	s.f.
16.05	EMS Storage	64	s.f.
16.06	Air Room (SCBA)	200	s.f.
16.07	Turnout Gear	300	s.f.
16.08	Radio/Communications Room	144	s.f.
16.09	Unisex Restroom	60	s.f.

Subtotal: 2,436 s.f.

**17 . Support**

17.01	Custodial Closets x 2	96	s.f.
17.02	Mechanical Room	320	s.f.
17.03	Sprinkler Room	TBD	s.f.
17.04	Air Handling Equipment Room	TBD	s.f.
17.05	Electrical Room	TBD	s.f.
17.06	Emergency Electrical Room	TBD	s.f.

Subtotal: 416 s.f.

**18 . Verticle Circulation**

18.01	Stair x 3 x 2-floors	1200	s.f.
18.02	Elevator x 2-floors	120	s.f.
18.03	Elevator Machine Room	60	s.f.

Subtotal: 1380 s.f.

**Summation**

Facility net area:	26,887	s.f.
Net to gross adjustment (20%)	5,377	s.f.
<b>Facility gross area total:</b>	<b>32,264</b>	<b>s.f.</b>

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**1 . Shared Facilities****1.01 Vestibule 80 s.f.****Security**

- free access from exterior
- emergency lockdown of inner doors
- ballistic protection in any wall interfacing staff areas

**Electrical**

- fire alarm annunciator panel

**1.02 Lobby With Display Area 550 s.f.****General**

- lobby design should reflect an environment of service to the

**Security**

- free access with emergency lockdown provisions
- proximity access control to secure areas
- remote release of doors from dispatch desk
- ballistic protection in all walls interfacing staff areas
- audio/video monitoring

**Furniture**

- 6 waiting chairs

**Equipment**

- 1 public access computer terminals

**Casework and built-ins**

- 1 pamphlet/form rack for community information
- 2 display cases
  - drops for cell phone donations, prescription drugs, used needles

**Display**

- display area for antique pumper - 100 s.f.
- 1 flat panel information monitor
- 2 display cases for historic artifacts
  - wall space for display of historic artifacts
  - graphic Town map for visitor assistance

New Programmed Area Name	Program Area
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**Lobby - continued**

- do not recirculate air into staff areas

**Plumbing**

- 1 drinking fountain (accessible)

**1.03 Male Restroom 160 s.f.**

**Plumbing**

- 1 water closet
- 1 urinal
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

**1.04 Female Restroom 160 s.f.**

**Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

**Security**

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

1.05	Training Room	1400 s.f.
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<b>Occupants</b>	50
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**General**

- may be used as emergency operations center

**Acoustics**

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

**Furniture**

- 25 2'x6' tables with chairs
- 1 "smart" podium
- center aisle and two side aisles

**Casework and Built-ins**

- 12 lineal feet base cabinets

**Equipment**

- tel/data floor boxes for tables
- 1 wall telephone
- lighting control panel
- Internal and external jacks for cable access television
- telephone line drops from ceiling

**Display**

- 2 4' x 6' marker board
- 2 flat panel monitors
- 4 4'x4' tack boards

**Security**

- proximity access control
- interlock to switch control point
- ballistic protection in walls interfacing staff areas

Public Safety

New Programmed Area Name	Program Area
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<b>1.06</b>	<b>Kitchenette/Coffee</b>	<b>20 s.f.</b>
	<b>Casework and Built-ins</b>	
	6 lineal feet base and upper cabinets	
	<b>Equipment</b>	
	1 refrigerator	
	1 microwave	
	1 coffee machine (provision)	
	<b>Plumbing</b>	
	1 double bowl sink	
<b>1.07</b>	<b>Supply Storage</b>	<b>25 s.f.</b>
	<b>Furniture</b>	
	2 24" x 36" x 72" metal shelving	
	<b>Security</b>	
	• standard commercial lockset	
<b>1.08</b>	<b>Furniture Storage</b>	<b>100 s.f.</b>
	<b>General</b>	
	• additional space provided for cots, blankets, etc.	
	<b>Furniture</b>	
	2 24" x 36" x 72" metal shelving	
	<b>Security</b>	
	• standard commercial lockset	
<b>1.09</b>	<b>Fitness Center</b>	<b>500 s.f.</b>
	<b>Equipment</b>	
	• TBD	

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Fitness Center - continued****Special**

- mirrors full height one wall

**Acoustics**

- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

**Police Facility****2 . Public****2.01 Public Interview/Licensing Room****160 s.f.****Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

**Casework and built-ins**

- 6 lineal foot licensing counter with cabinets below

**Security**

- proximity access control
- audio/video monitoring - to record activities including probate child
- ballistic protection in walls interfacing staff areas
- panic device

**Furniture**

- 1 table w/ six chairs

**Equipment**

- 1 computer on licensing counter
- 1 fingerprint station
- 1 wall telephone

Public Safety

New Programmed Area Name

Program Area

**3 . Dispatch**

**3.01 Dispatch Center 450 s.f.**

**Description**

- Dispatchers serve as the public reception point.

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on 20% of surface

**Furniture**

- 2 dispatch consoles with chairs
- 6 rolling two drawer lateral file cabinets (under counter)

**Casework and Built-ins**

- 10 l.f. open countertop
- 6 l.f. wall shelving over files (over counter)
- 4 l.f. upper cabinets (over counter)
- storage for "bug-out" bins

**Equipment**

- 1 multifunction device (on casework)
- 1 logging recorder
- 1 scanner (on casework)
- 1 leaps computer terminal at counter
- central vacuum system
- note: equipment per console as indicated below:

Console #1

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJIS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Dispatch Center - continued****Console #2**

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJIS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

**Display**

- 1 GPS vehicle location monitor
- 2 large flat screen perimeter/cell security monitors
- 1 flat screen television monitor
- 1 4'x6' marker board
- 1 4' x 6' tack board

**Special Design Considerations**

- raised access floor or directly over communications equipment

**Mechanical**

- dedicated hvac system

**Electrical**

- all systems on UPS and emergency generator
- indirect lighting with multilevel control
- proximity access control
- ballistic protection in walls interfacing public areas
- 2-hour fire separation
- ballistic window to lobby w/ natural voice transmission
- ballistic deal tray to lobby
- ballistic package passer

**3.02 Dispatch Supervisors Office****120 s.f.****Furniture**

- 1 Small Dispatch console
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

**Casework and Built-ins**

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

New Programmed Area Name	Program Area
--------------------------	--------------

**Dispatch Supervisors Office - continued**

**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

**Acoustics**

- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

**Accessory Areas**

- coat closet

**Equipment**

- 1 wall telephone
- 1 radio speaker

**3.03 Unisex Restroom 65 s.f.**

**Plumbing**

- 1 Water closet
- 1 Sink

**Equipment**

- 1 wall telephone
- 1 radio speaker

**3.04 Communications Equipment Room/IT 200 s.f.**

**Casework and Built-ins**

- 10 lineal feet of open counter

**Equipment**

- 1 electronic radio equipment racks
- 1 network racks
- 1 security rack
- 1 911 racks
- 1 future rack
- 1 administrative computer
- 16 lineal feet of 8' high plywood backboard
- 1 telephone

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Communications Equipment Room/IT - continued**

- 1 logging recorder
  - cable tray over racks

**Electrical**

- all systems on UPS and emergency generator
- 4 4" conduits from pole to communications equipment
- 4 4" conduit to antenna/microwave
- 2 future conduit to roof

**Fire Protection**

- pre-action fire suppression system

**Security**

- access from outside of dispatch
- proximity access control
- masonry wall construction or wire mesh in partitions
- 2 hour fire rating

**3.05 Break Area****135 s.f.****Furniture**

- dining counter with two chairs

**Casework and Built-ins**

- 8 lineal feet of base and upper cabinets

**Equipment**

- 1 refrigerator
- 1 microwave
- 1 coffee machine
- 12 12" x 24" x 72" dispatcher lockers

**Plumbing**

- 1 kitchen sink

**Display**

- 1 flat panel wall monitor with cable tv

Public Safety

New Programmed Area Name Program Area

**4 . Records**

**4.01 Records Archive 120 s.f.**

**Furniture**

- 72 lineal feet of high-density 5 high file storage
- 4 three drawer lateral file cabinets

**Equipment**

- 1 wall telephone

**Security**

- proximity access control

**4.02 Central Photocopy 50 s.f.**

**Casework and Built-ins**

- 6 lf base cabinets w/ countertop

**Equipment**

- 1 multipurpose machine
- 1 wall telephone(s)

**Security**

- none

**4.03 Office Supply Storage 10 s.f.**

**Casework and Built-ins**

- 30 lineal feet of shelving on standards

**5 . Patrol Facilities**

**5.01 Sergeants 240 s.f.**

**Furniture**

- 4 "L" workstations with chair and visitor chair
- 3 three drawer file cabinets

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Sergeants - continued****Equipment**

- 4 computer(s)
- 4 telephone(s)
- 1 multifunction print device

**Display**

- 1 4' x 4' marker board
- 1 4' x 4' tack board
- 1 GPS vehicle tracking monitor

**Security**

- standard commercial lockset

**5.02 Patrol Conference 150 s.f.****Furniture**

- 1 conference table with six chairs

**Equipment**

- 1 computer connection at table
- 1 wall telephone(s)
- radio speaker with volume control

**Display**

- 1 4' x 6' marker board

**Security**

- standard commercial lockset

**5.03 Report Preparation/Squad Room 200 s.f.****General**

- locate adjacent to dispatch with window between
- locate adjacent to licensing with window

**Furniture**

- 3 "L" computer workstations
- 1 conference table with eight chairs
- 4 two drawer lateral files

New Programmed Area Name	Program Area
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**Report Preparation/Squad Room - continued**

**Casework and Built-ins**

- 4 lineal feet of three four form cubbies
- 12 lineal feet of open counter over files
- 30 staff mailboxes

**Equipment**

- 1 wall telephone(s)
  - radio speaker with volume control

**Display**

- 1 4' x 4' marker board
- 1 4' x 4' tack board

**5.04 Quartermaster Storage 80 s.f.**

**Furniture**

- 6 24" x 36" x 72" five tier metal shelving

**Electrical**

- 2 wall mtd. charging rack
- 1 recharge for radar units

**Security**

- standard commercial lockset

**5.05 Weapons Cleaning 40 s.f.**

**Furniture**

- 1 six foot stainless steel workbench

**Equipment**

- ultrasonic cleaner
- weapons clearing trap
- radio speaker with volume control

**Casework and Built-ins**

- 6 lineal feet of base cabinet with epoxy resin countertop

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Weapons Cleaning - continued****Mechanical**

- exhaust for cleaning fluid

**Security**

- none

**5.06 Armory 40 s.f.****Furniture**

- 6 lineal feet of long gun storage rack
- 2 24" x 36" x 72" six tier metal shelving

**6 . Investigative****6.01 Detective's Office x 2 280 s.f.****Furniture**

- 1 "L" workstation
- 2 two drawer lateral file cabinets
- 2 visitor chairs

**Casework and Built-ins**

- 8 lf open countertop (over files)
- 16 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

**Security**

- standard commercial lockset

**6.02 Interview Room 100 s.f.****General**

- locate between detective offices

**Furniture**

- 1 fixed table w/ four chairs

New Programmed Area Name	Program Area
--------------------------	--------------

**Interview Room - continued**

**Electrical**

- 1 light switch w/ "in use" light
- 1 panic device
- laptop cable

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on one wall

**Security**

- standard commercial lockset
- discreet CCTV audio and video surveillance

**Special**

- one-way glass to each office

**6.03 Equipment Storage Room 12 s.f.**

**Furniture**

- 2 18" x 36" x 72" - 5 tier shelving

**Security**

- standard commercial lockset

**7 . Department Administration**

**7.01 Administrative Assistant 120 s.f.**

**Furniture**

- 1 "U" workstation with chair
- 3 four drawer lateral file cabinets
- 1 typewriter stand

**Equipment**

- 1 computer
- 1 multifunction device
- 1 telephone

**Security**

- standard commercial lockset

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**7.02 Reprographics/Work Area 20 s.f.****Casework and Built-ins**

- 6 lineal feet of base & upper cabinets

**Equipment**

- 1 multifunction printer
- 1 paper shredder
- 1 mail machine

**7.03 Future Office 120 s.f.****Furniture**

- 1 "U" workstation
- 3 two drawer lateral file cabinets
- 2 visitor chairs

**Casework and Built-ins**

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

**Security**

- standard commercial lockset

**Accessory Areas**

- coat closet

**7.04 Lieutenant's Office 160 s.f.****Furniture**

- 1 "U" workstations
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

**Casework and Built-ins**

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

**Lieutenant's Office - continued**

**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

**Acoustics**

- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

**Accessory Areas**

- coat closet

7.05

**Chief's Office**

180 s.f.

**General**

- provide direct access from exterior

**Furniture**

- 1 exec. desk w/ credenza
- 2 two drawer lateral files
- 2 visitor chairs

**Casework and Built-ins**

- 6 lf open countertop (over files)
- 12 lf wall shelving (over files)

**Equipment**

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

**Security**

- standard commercial lockset

**Accessory Areas**

- large closet

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**7.06 Conference Room 320 s.f.****Furniture**

- 1 conference table w/ 16 chairs

**Casework and Built-ins**

- 6 lineal feet base cabinets

**Equipment**

- 1 telephone
- 1 laptop/projection provision at table
- 1 flat panel monitor

**Acoustics**

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

**Security**

- standard commercial lockset

**8 . Staff Facilities****8.01 Male Restroom/shower 210 s.f.****Casework and Built-ins**

- 6 lineal feet open countertop
- 6 lineal feet bench

**Plumbing**

- 1 hc toilet stall
- 2 urinals
- 2 sink
- 2 shower

**Security**

- standard commercial push/pull

New Programmed Area Name	Program Area
--------------------------	--------------

**8.02 Male Locker Room 400 s.f.**

**Equipment**

- 24 2' x 2'-6" x 6' lockers
- 4 space for future lockers
- 1 4' wet gear rack
- 1 shoe shine station
- 1 weapons clearing trap

**Security**

- standard commercial push/pull

**8.03 Female Restroom/shower 160 s.f.**

**Casework and Built-ins**

- 4 lineal feet open countertop
- 3 lineal feet bench

**Plumbing**

- 1 hc toilet stall
- 1 sink
- 1 shower

**Security**

- standard commercial push/pull

**8.04 Female Locker Room 110 s.f.**

**Equipment**

- 6 2' x 2'-6" x 6' lockers
- 2 space for future lockers
- 1 2' wet gear rack
- 1 shoe shine station

**Security**

- standard commercial push/pull

**8.05 Break Room 180 s.f.**

**Furniture**

- 1 table(s) with four chairs

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Break Room - Continued****Casework and Built-ins**

8 lf base and upper cab.

**Equipment**

1 refrigerator  
 1 microwave (in casework)  
 1 coffee machine (provision)  
 1 residential oven w/ cooktop  
 1 dishwasher

**Plumbing**

1 double bowl sink (in casework)

**8.06 Miscellaneous Male Restrooms 65 s.f.****Casework and Built-ins**

4 lineal feet open countertop

**Plumbing**

1 hc toilet stall  
 1 urinals  
 1 sink (in counter)

**Security**

- standard commercial lockset

**8.07 Miscellaneous Female Restroom 65 s.f.****Casework and Built-ins**

4 lineal feet open countertop

**Plumbing**

1 hc toilet stall  
 1 toilet stall  
 1 sink (in counter)

**Security**

- standard commercial lockset

Public Safety

New Programmed Area Name	Program Area
--------------------------	--------------

**9 . Property and Evidence**

**9.01 Evidence Laboratory 150 s.f.**

**Furniture**

- 1 3' x 6' lab tables

**Casework and Built-ins**

- 24 lineal feet of base cabinets
- 12 lineal feet of upper cabinets

**Equipment**

- 1 counter top fuming tank
- 1 drying cabinet
- 2 pass thru locker units to evidence storage
- 1 pass thru locker units to be refrigerated

**Plumbing**

- 1 double bowl sink

**Security**

- proximity access control

**9.02 Evidence Receiving 40 s.f.**

**Furniture**

- 1 computer station w/printer

**Casework and Built-ins**

- 5 lineal feet of base cabinet for storage of packaging materials
- 1 lineal feet of 6 - tier form cubbies

**Equipment**

- 2 pass thru locker units - two large capacity units minimum
  - one from hall
  - one unit from prisoner processing
- 1 refrigerated pass thru (in units above)

**Security**

- proximity access control

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**9.03 Evidence Storage 400 s.f.****Furniture**

- 4 24" x 36" x 72" metal shelving
- 90 lineal feet of high - density 5 - tier evidence storage system
- 1 valuables safe
- 12 lineal feet of locked longarms racks
- 1 3' x 2' x 6' lockable handgun storage cabinet
- 1 3' x 2' x 6' vented lockable drug storage cabinet

**Equipment**

- 1 refrigerator

**Security**

- proximity access control w/ "pin" keypad
- cctv monitoring

**10 . Prisoner Processing****10.01 Sally Port (1-cruiser) 450 s.f.****General**

- 2 12' x 12' overhead doors for each bay
- 1 man door

**Plumbing**

- 1 eye wash/emergency shower
- 1 floor drain per bay

**Security**

- interlock all doors for one at a time operation
- cctv monitoring of interior and approach
- proximity access control in/out to Pris. Proc.
- proximity access control and remote release of OH doors from
- wire mesh partition to separate bay for vehicle

**10.02 Processing Area 250 s.f.****Casework and Built-ins**

- 1 booking control workstation
- 1 booking bench with handcuff rings

New Programmed Area Name	Program Area
--------------------------	--------------

**Processing Area - Continued**

**Equipment**

- 1 automated fingerprint machine
- 1 telephone (@ workstation)
- 1 telephone with two handsets for language line services
- 1 computer (@ workstation)
- 6 property lockers - two large enough for guitars/backpacks
- 1 mug shot camera on mount (@ workstation)
- static gray back drop (to match registry of motor vehicles) w/ height

**Security**

- proximity access control
- cctv monitoring of all areas
- panic devices throughout
- automatic openers for doors from sallyport
- use least possible number of cameras to monitor booking
- prisoner release exit
- weapons locker outside all entrances

**10.03 Holding Cell 50 s.f.**

**Casework and Built-ins**

- 8 lineal foot bench with cuff rail

**Electrical**

- 1 detention grade light fixtures

**Security**

- minimum 10' high ceilings
- detention grade sliding door hardware w/ cuff door
- audio/video surveillance
- visual observation from booking area
- tamper resistant hvac grills - 1/8" holes maximum

**10.04 Intoxilyzer Area 12 s.f.**

**Casework and Built-ins**

- 6 lineal feet base cabinet w/ epoxy resin countertop
- 1 booking bench w/ cuff rail

**Electrical**

- 1 tel/data for intoxilyzer

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**10.05 Custodial Closet 20 s.f.****Plumbing**

- 1 mop sink

**Equipment**

- 1 mop rack

**Security**

- high security lockset

**10.06 Interview Room 100 s.f.****General**

- use for bail and lawyer meetings, provide vestibule near prisoner

**Furniture**

- 1 fixed table w/ two chairs

**Electrical**

- 1 light switch w/ "in use" light
- 1 panic device

**Equipment**

- 1 phone discreetly located

**Acoustics**

- partitions to extend to underside of structure
- Acoustic wall panels on one wall

**Security**

- high security lockset
- discreet CCTV audio and video surveillance w/ local control

**10.07 Detention Restroom/shower 50 s.f.****Plumbing**

- 1 handicapped accessible detention combination fixture
- 1 shower stall

New Programmed Area Name	Program Area
--------------------------	--------------

**11 . Detention Facilities**

**11.01 Unisex Cells (x3) 400 s.f.**

**Casework and Built-ins**

- 1 32" x 72" x 18" concrete bunk

**Equipment**

- telephone with long phone line

**Plumbing**

- 1 detention combination fixture

**Electrical**

- 1 detention grade light fixtures
- audio/video surveillance
- tamper resistant hvac grills - 1/8" holes maximum

**12 . Vehicle Storage**

**12.01 Vehicle Processing/Cruiser Maintenance 960 s.f.**

**General**

- 1 12' x 12' overhead door

**Equipment**

- 1 tool cabinet
- 1 6' work bench
- 1 12' tire rack
- 1 55 gallon oil storage tank
- 1 tire balancer
- 1 four post lift

**12.02 Mechanic's Storage 40 s.f.**

**Furniture**

- 3 24" x 36" x 72" five tier shelving

**Security**

- standard commercial lockset

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Fire Facility****13 . Administration****13.01 Conference Room 200 s.f.****Description**

- Seating for 8-10
- AV, TV, Screen, Lectern, etc.: All and whiteboard
- Computer/communications: Yes, Wi-Fi and cable, ceiling
- Adjacencies/comments: Combined with Police if Public Safety,

**13.02 Chief's Office 180 s.f.****Description**

Chief's Office

**Furnishings**

Desk, credenza, files, table for 6, bookshelves, 4 plex at desk.

**Comments/Adjacencies**

Secure, TV and presenting room off office

Adjacent to shared bunk

**13.03 Captains Office 160 s.f.****Description**

Captain's Office with bunk area attached

**Furnishings**

Desk, credenza, files, table for 6, bookshelves, 4 plex at desk

**Comments/Adjacencies**

Adjacent to shared bunk

**13.04 Shared Bunk 144 s.f.****Description**

Shared bunk for Chief &amp; Captain

**Furnishings**

- 2 Beds
- 2 Wardrobes

**Comments/Adjacencies**

Ramp up lighting at bunk.

Public Safety

New Programmed Area Name	Program Area
--------------------------	--------------

**13.05 Department Administrators Office 120 s.f.**

**Description**

Department Administrator's Office

**Furnishings**

Desk, cabinets, copier, printer, file cabinet.

**Comments/Adjacencies**

Chief and Captain's offices adjacent to front entry

**13.06 Fire Prevention / Shared Office With EMS 300 s.f.**

**Description**

Fire Prevention, Shared Office

**Furnishings**

3 desks, storage drawers with flat surface for Plan reviews.

**Comments/Adjacencies**

Office needs to be adjacent to entry, Public access

**13.07 Workspace 100 s.f.**

**Description**

Base and wall cabinets, solid surface counter, mailing

**Comments/Adjacencies**

Widened corridor to house copier, large format printer/plotter, office supplies.

**13.08 Records Storage 100 s.f.**

**Description**

File cabinets, lateral files, table and chairs

**Comments/Adjacencies**

Secure

**13.09 Network/IT 200 s.f.**

**Description**

4 racks with clearance all round, marked for Verizon and 911

**HVAC**

Dedicated split system, fully alarmed for heat, humidity,

**Comments/Adjacencies**

- Secure
- Adjacencies/comments: Manual sprinkler, combined with

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**14 . Firefighter's/EMTs****14.01 Firefighter's/EMTs Day Room 300 s.f.****Description**

- Recliners and TV
- Number of Seats/Type: 4 - 6

**Furnishings**

TV, end tables.

**Comments/Adjacencies**

Kitchen and bunk suite, clear path to Bays, easily cleaned, no

**14.02 Kitchen 250 s.f.****Description**

- Recliners and TV
- Number of Seats/Type: 4 - 6

**Furnishings**

TV, end tables.

**Comments**

Kitchen and bunk suite, clear path to Bays, easily cleaned, no Full Commercial equipment and appliances.

**Equipment**

Ansul hood, stove, stainless steel, 3 – sinks, 1 for food prep, all Refrigerators: 2 with freezers attached.

Pantry/Food Storage: 4 locked stainless steel shelves; one for

**Finishes/Materials**

All tile floor and walls, moisture resistant ceiling, Quartz or

**Comments/Adjacencies**

Floor drains, ¼" piping for water to refrigerator and coffee

**14.03 Dining 200 s.f.****Description**

Open to kitchen

**Equipment**

TV, end tables.

**Comments**

Kitchen and bunk suite, clear path to Bays, easily cleaned, no Table for 12, TV mounted on wall.

**Comments/Adjacencies**

Kitchen, Day Room and Bays.

New Programmed Area Name	Program Area
--------------------------	--------------

**14.04 Bunkers/Bed 480 s.f.**

**Bunk Type**

- (4) singles - can be converted to doubles in future
- Separate suites, quiet and private

**Furnishings**

Bed, wardrobes for 4, small desk

**Comments/Adjacencies**

Overhead fan, individual climate controls, lighting comes up

**14.05 Baths/Showers 180 s.f.**

**Description**

Individual, 2 are required, unisex, sink, shower, water closet.

**Location**

Within bunk suite

**Comments/Adjacencies**

All tile floors and walls, floor drain, solid surface countertop,

**14.06 Lockers 250 s.f.**

**Description**

Separate rooms for call responders.

**Location**

Bunker suite

**Lockers**

40 male, 15 Female : 12" wide full height, sloped top.

**Comments/Adjacencies**

Male and female to share room, tile floor and all exposed walls, phenolic benches.

**14.07 Housekeeping Storage 44 s.f.**

**Description**

Washer, dryer, folding table.

**Comments/Adjacencies**

Shelving, mop and broom holder, dry goods, cleaning supplies.

**14.08 Private Lobby 48 s.f.**

**Description**

Access directly to Administration

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**15 . Apparatus/Training****15.01 Apparatus Bays (12) - 6 double-deep****8,320 s.f.****Vehicles - total of 9**

- E1 Type: Pump Length: 34' Weight: 47,000 Capacity: 4
- E2 Type: Pump Length: 40' Weight: 62,000 Capacity: 6
- E3 Type: Pump Length: 32' Weight: 53,000 Capacity: 4
- T1 Type: Ladder Length: 42' Weight: 81,000 Capacity: 6
- A1 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3
- A2 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3
- Car 3 Type: Truck Length: 18' Weight: 8,000 Capacity: 2
- Boat Type: Nautic Length: 10'
- UTV Type: Gravely Length: 8

**Type of Bays**

- Drive-thru - respond in both directions
- All double deep, back to back

**Overhead Doors**

- 2 rows of glass.
- Front: Number: 6 Width: 14 Height: 14
- Rear: Number: 6 Width: 14 Height: 14

**Foam**

Type: 20-30 gallons/5 gallon pails.

**Trench Drains**

centered under all apparatus – to Oil/Water separator.

**Hose Reals**

Hannay wall mounted with 50' x 3/4" hose, 6 total; 3 front and 3

**Fume Exhaust**

Plymovent – hydraulic, all Bays, 2 fans; one for each group of six

**Truck Fills**

Overhead: One, center location.

Outdoor hydrant: Yes Location: Adjacent to Apron.

**Overhead Fans**

BAF or eq.

**Electrical Drops**

11 Bays – 20 AMP/Drop.

**Air Drops (2)**

In-Line Air Dryer, no combination plugs.

**Compressed Air**

2 in front and 2 in rear on overhead reels.

**Sinks**

deep bowl.

Public Safety

New Programmed Area Name	Program Area
--------------------------	--------------

**Apparatus Bays (12) - 6 double-deep - Continued**

**Finshes**

Epoxy flooring, non-slip, multi-color with Back0in safety stripe

**Ice Machine**

For ambulances

**Comments/Adjacencies**

Introduce daylighting, hand towel dispenser at each overhead door pilaster.

**15.02 Training Tower (Possible to be third stair) 600 s.f.**

**Description**

Design as integral part of Bays and Connected to Mezzanine.

**Features**

- Rappelling: Yes
- Stairs: Yes
- Roof Access: Yes, reinforce parapet and roof surface at training
- Roof training: Yes
- Windows: Yes, several levels and sizes.
  - a. Need a window at first floor level.
  - b. Need window at the height of a 2-story residential building for the
- Hose: Yes
- Confined Space: Yes
- Sprinkler: Yes Dry: Yes
  - a. Use water service as training prop.
- Blackout: Yes
- Hose Drying: Yes Winch: Yes, 2 Ton.
- Other Specialized Training: Modular setup, overhead grid,

**16 . Firematic Support**

**16.01 Mezzanine 1280 s.f.**

**Description**

Large as possible, attached to tower, share stairs.

**Size**

Full depth of Bays, training, possible storage, no mechanical uses.

**16.02 Storage Room #01 100 s.f.**

**Description**

Hose, fittings and nozzles

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Storage Room #01 - Continued****Location**

Off the bays

**Comments/Adjacencies**

Racks, shelves and wall cabinets

**16.03 Work Room****120 s.f.****Equipment**

- Mechanic: Town does large repairs outside of Station.
- Service: Pump service
- Workbench: Yes
- Tool storage: Yes, hand tools
- Power tools: Grinder, drill press
- Air: Yes, for tools.
- Water: Yes, deep bowl, stainless steel sink.

**Comments/Adjacencies**

Fire department needs stainless steel wall cabinets and shelves.

**16.04 Firematic DeCon/Laundry****168 s.f.****Equipment**

- Sink: Yes, stainless steel with sideboard.
- Extractor: Will need to purchase. Brand: TBA
- Gear dryer: Will need to purchase Dehydrator type.
- Clothes washer: Yes, located on clean side of Station.
- Clothes Dryer: Yes located on clean side of Station.
- Drench/Eye Wash: Yes, cartridge type, proximity to work room.
- Red Bag and Sharps: Yes
- Holding Tank: No, clean at scene or hospital.
- Backboard cleaning: On occasion.
- Drench Shower: Yes
- Blood borne pathogens: Minimal, clean at hospital.

**Comments/Adjacencies**

DeCon done at hospital, NFPA 1581. Direct access to Hot Zone

New Programmed Area Name	Program Area
--------------------------	--------------

**16.05 EMS Storage 64 s.f.**

**Description**

Restock ambulance, EMS supplies (blankets, bandages, etc.).

**Security**

- Access control
- camera monitored

**Comments/Adjacencies**

Stainless steel shelving all around room. Locked cabinet for

**16.06 Air Room (SCBA) 200 s.f.**

**Equipment**

Sink: Yes, 4 compartment, stainless steel, NFPA 1581

Counters: 2 sideboards, mask hooks above sink

Air compressor: Yes, 3 bottles, 4,500 and 5,500 lbs.

7.4.1 Remote fill station: Yes, from compressor to Air Room

SCBA storage: All bottles Rack: 4 on a rack.

Repair: small, masks.

**O2 Storage**

Number of Cylinders: 16 – D and 1 – M. Look at system to hold

**Comments/Adjacencies**

Compressor in separate room. Will need air supply, sound

**16.07 Turnout Gear 300 s.f.**

**Description**

40 required, largest locker possible, secured to walls.

**Equipment**

Racks: Gear Grid or Ready Rack.

**Comments/Adjacencies**

Over Head fans, HVAC and constant exhaust, HEPA Filter, wall

**16.08 Radio/Communications Room 144 s.f.**

**Location**

Watchroom - Adjacent to Bays with direct vision

**Seating requirements**

3

**Door operation**

Control of all 12 doors, numbered

**Equipment**

Traffic control: No, Opticom on trucks, depends on location of

## ROOM SUMMARY

Westminster, Massachusetts  
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

**Radio/Communications Room - Continued**

Internal paging system: Yes, and base radio.  
 Siren: Yes, part of ISO Rating.  
 Computer equipment: Yes, for each station  
 Closed Circuit TV, Phones, Weather Station: Yes  
 File cabinets: Yes  
 Wall mounted items: Maps  
 Rechargeable items (plectrons): Portable radio batteries  
 911 tie in: No  
 Console:  
 - Phones, switches, door controls, siren.  
 Lockable storage: No

**Comments/Adjacencies**

Secondary Communication Center for Dispatch, adhere to

**16.09 Unisex Restroom 60 s.f.****Plumbing**

Water closet, sink, urinal, hose bib for cleaning, floor drain

**Comments/Adjacencies**

All hard washable surfaces, moisture resistant ceiling.

**17 . Support****17.01 Custodial Closets x 2 96 s.f.****Plumbing**

1 mop sink

**Equipment**

1 mop rack

**Security**

- standard commercial lockset

**17.02 Mechanical Room 320 s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

Public Safety

New Programmed Area Name	Program Area
--------------------------	--------------

**17.03 Sprinkler Room** **TBD s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**17.04 Air Handling Equipment Room** **TBD s.f.**

- Use attic or roof top

**17.05 Electrical Room** **TBD s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset

**17.06 Emergency Electrical Room** **TBD s.f.**

- confirm size with system selection

**Security**

- standard commercial lockset
- 2-hour fire rated construction

**18 . Vertical Circulation**

**18.01 Stair x 3 x 2-floors** **1200 s.f.**

- assumed floor count

**18.02 Elevator x 2-floors** **120 s.f.**

- hc sized cab

**18.03 Elevator Machine Room** **60 s.f.**

- per elevator requirements

## SITE REQUIREMENTS

## Westminster, Massachusetts

## Site Needs Assessment

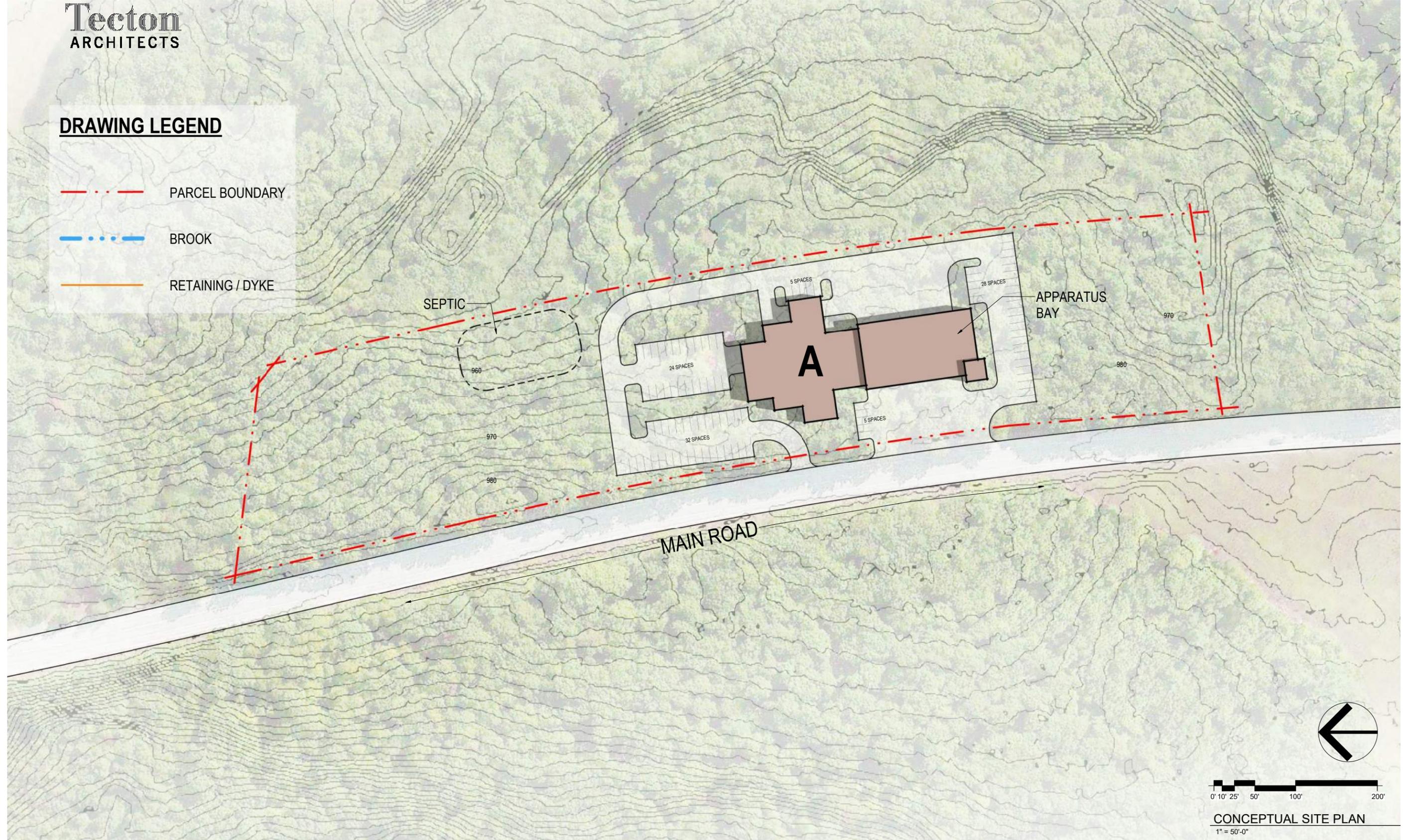
## Public Safety

New Programmed Area Name	Quantity	Programmed Area
<b>S.1 Building Area</b>		
Building Footprint	2 story	20,165 s.f.
Future Building Growth (25% of programmed area)		5041 s.f.
Subtotal:		25,206 s.f.
<b>S.2 Parking Area</b>		
Visitor Parking	15 spaces	2,475 s.f.
Visitor Handicapped Parking	2 spaces	540 s.f.
Staff Parking	60 spaces	9,900 s.f.
Staff Handicapped Parking	2 spaces	540 s.f.
Cruiser Parking	12 spaces	1,980 s.f.
Oversize Fleet Parking	2 spaces	650 s.f.
Travel Lane Allowance		12,800 s.f.
Subtotal:		28,885 s.f.
<b>S.3 Site Utilities</b>		
Electrical Transformers		100 s.f.
Emergency Generator		350 s.f.
Antenna Tower		500 s.f.
AC Equipment		400 s.f.
Dumpsters		240 s.f.
Storm Water Retention		5,500 s.f.
Subtotal:		7,090 s.f.
<b>S.4 Site Amenities</b>		
Patio / Grill area		1,200 s.f.
Training Props	6 spaces	1,200 s.f.
Impound Lot	6 spaces	1,200 s.f.
Subtotal:		3,600 s.f.
<b>S.5 Setbacks and Green Space</b>		
Green space		20,900 s.f.
Setbacks		18,700 s.f.
Subtotal:		39,600 s.f.
<b>Summation</b>		
Minimum useable site area		91,778 s.f.
Minimum useable site acreage		2.11 ac.

Tecton  
ARCHITECTS

**DRAWING LEGEND**

- PARCEL BOUNDARY
- BROOK
- RETAINING / DYKE



0' 10' 25' 50' 100' 200'

CONCEPTUAL SITE PLAN  
1" = 50'-0"



*OPINION OF PROBABLE COSTS*



**Town of Westminster  
Public Safety Building  
Projected Budget Options**

March 22, 2019

	New Fire Station 2020	New Police Station 2020	New Police Exist. Site 2022	New Combined Facility 2020
\$(000) except \$/GSF				
New Construction GSF	22,346	15,527	15,527	32,264
Renovation GSF	0	0	11,000	0
<b>Total GSF</b>	<b>22,346</b>	<b>15,527</b>	<b>26,527</b>	<b>32,264</b>
New Construction \$/GSF - Current	\$ 425.00	\$ 450.00	\$ 450.00	\$ 450.00
Renovation \$/GSF - Current	\$ -	\$ -	\$ -	\$ -
New Construction \$/GSF - Escalated	\$ 477.50	\$ 505.60	\$ 505.60	\$ 505.60
Renovation \$/GSF - Escalated	\$ -	\$ -	\$ -	\$ -
Total Construction w/ site \$/GSF	\$ 57.23	\$ 60.40	\$ 56.26	\$ 60.41
<b>Total Project \$/GSF</b>	<b>\$ 718.89</b>	<b>\$ 787.12</b>	<b>\$ 508.63</b>	<b>\$ 764.10</b>
<b>I. Building Construction</b>				
A. New Building Construction	\$ 9,497.1	\$ 6,987.2	\$ 6,987.2	\$ 14,518.8
B. Existing Building Renovations				
<b>Total Building Construction</b>	<b>9,497.1</b>	<b>6,987.2</b>	<b>6,987.2</b>	<b>14,518.8</b>
<b>II. Related Construction</b>				
A. Sitework	850.0	600.0	700.0	1,250.0
1 Site Prep.	included	included	included	included
2 Drives, Paths & Plazas	included	included	included	included
3 Parking	included	included	included	included
4 Site Improvements	included	included	included	included
5 Landscape & Planting	included	included	included	included
6 Building Demolition	-	-	125.0	-
7 Wetlands Mitigation	-	n/a	n/a	n/a
B. Site Utility Systems	included	included	included	included
1 Water & Fire Protection	included	included	included	included
2 Sanitary Sewer	included	included	included	included
3 Storm Sewer	included	included	included	included
4 Electric	included	included	included	included
5 Data & Communications	included	included	included	included
6 Site Lighting	included	included	included	included
7 Gas	included	included	included	included
8 Steam	included	included	included	included
9 Chilled Water	included	included	included	included
C. Hazardous Materials	Not Included	Not Included	Not Included	Not Included
<b>Total Related Construction</b>	<b>850.0</b>	<b>600.0</b>	<b>825.0</b>	<b>1,250.0</b>
<b>SubTotal Construction - Current</b>	<b>\$ 10,347.1</b>	<b>\$ 7,587.2</b>	<b>\$ 7,812.2</b>	<b>\$ 15,768.8</b>
<b>III. Escalation (2021 Completion)</b>	<b>1,278.9</b>	<b>937.8</b>	<b>1,492.3</b>	<b>1,949.0</b>
<b>Total Construction - Escalated</b>	<b>\$ 11,626.0</b>	<b>\$ 8,525.0</b>	<b>\$ 9,304.5</b>	<b>\$ 17,717.8</b>
<b>IV. Furniture, Fixtures &amp; Equipment (FF&amp;E)</b>				
A. Loose Furnishings	147.0	196.0	196.0	315.0
B. Program Related Equipment	75.0	100.0	100.0	145.0
C. Data/Telecomm Equipment	150.0	200.0	200.0	300.0
D. Audio/Visual Equipment	30.0	50.0	50.0	65.0
E. Security	40.0	50.0	50.0	70.0
F. Specialty Signage	10.0	10.0	10.0	15.0
<b>Total FF &amp; E</b>	<b>452.0</b>	<b>606.0</b>	<b>606.0</b>	<b>910.0</b>
<b>V. Fees and Expenses</b>				
A. Fees				
1 Existing Cond & Space Program	Not Included	Not Included	Not Included	Not Included
2 Architect	1,166.0	913.1	991.1	1,958.0
a Structural Eng.	w/ architect	w/ architect	w/ architect	w/ architect
b MEP Eng.	w/ architect	w/ architect	w/ architect	w/ architect
c Civil Eng.	w/ architect	w/ architect	w/ architect	w/ architect
d Landscape Arch.	w/ architect	w/ architect	w/ architect	w/ architect

**Town of Westminster  
Public Safety Building  
Projected Budget Options**

March 22, 2019

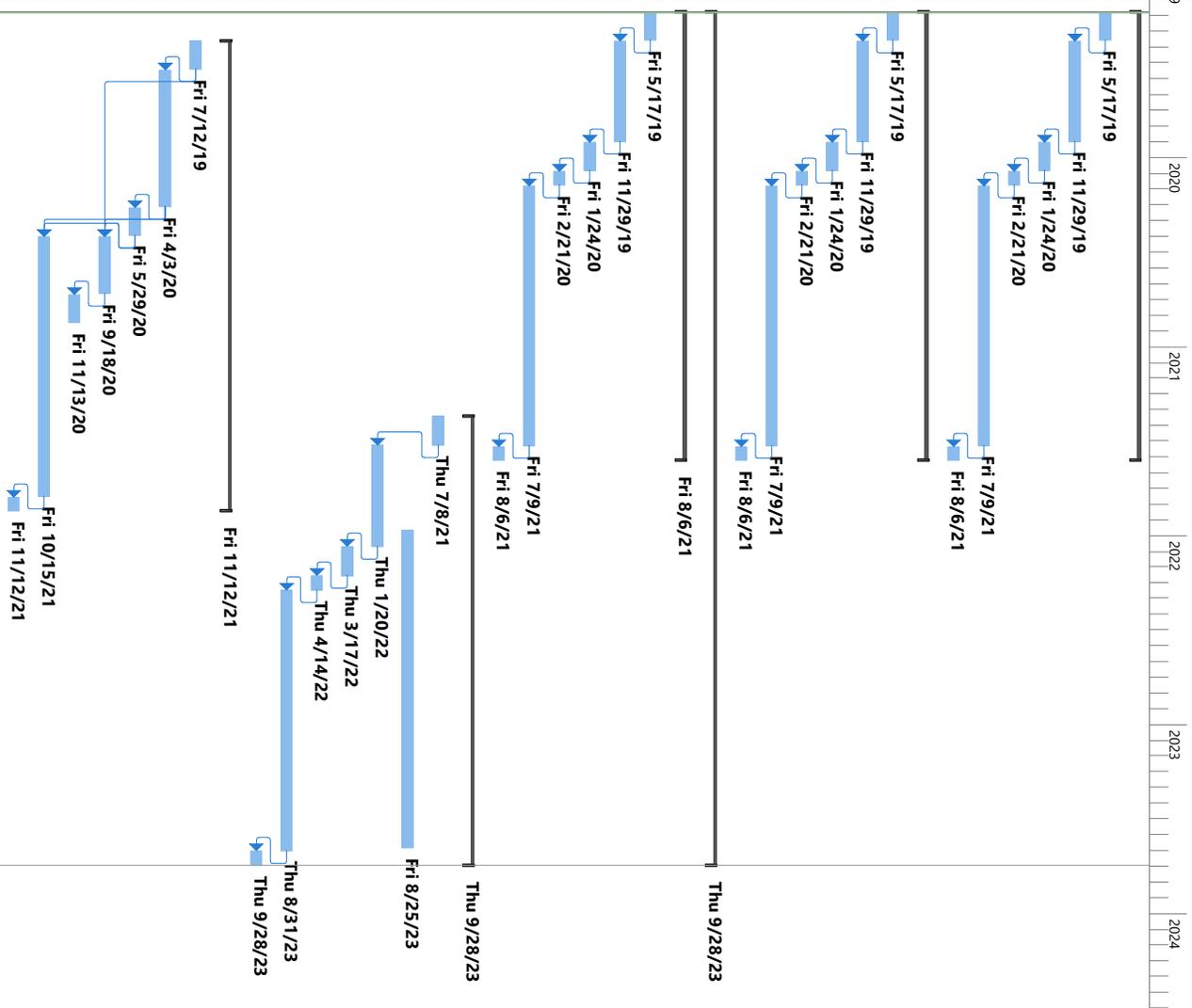
		New Fire Station 2020	New Police Station 2020	New Police Exist. Site 2022	New Combined Facility 2020
\$ (000) except \$/GSF					
e	Interior/Furniture Designer	w/ architect	w/ architect	w/ architect	w/ architect
f	Code	w/ architect	w/ architect	w/ architect	w/ architect
g	Lighting	w/ architect	w/ architect	w/ architect	w/ architect
h	Acoustical	w/ architect	w/ architect	w/ architect	w/ architect
i	Signage	w/ architect	w/ architect	w/ architect	w/ architect
j	Referendum Services	w/ architect	w/ architect	w/ architect	w/ architect
k	LEED Designer	w/ architect	w/ architect	w/ architect	w/ architect
l.	Security	w/ architect	w/ architect	w/ architect	w/ architect
3	Special Consultants				
a	Haz. Mat. Consultant	Not Included	Not Included	35.0	Not Included
b	Audio/Visual	w/ architect	w/ architect	w/ architect	w/ architect
c	Computer/Info. Systems	w/ architect	w/ architect	w/ architect	w/ architect
d	Geo-Tech	35.0	35.0	45.0	35.0
e	Traffic	-	-	-	-
f	Ecologist/Soil Sample	-	-	-	-
g	Peer Reviews	-	-	-	-
h	Green Building Consultant	w/ architect	w/ architect	w/ architect	w/ architect
4	Project Management	581.3	426.3	465.2	750.0
5	Building Commissioning	47.5	34.9	34.9	50.0
6	Owner's Cost Estimator	-	-	-	32.0
7	Owner's Legal Fees	15.0	15.0	15.0	15.0
8	Site Survey	10.0	10.0	10.0	10.0
9	Utility Assessment	50.0	50.0	20.0	50.0
Sub-total Fees		1,904.8	1,484.3	1,616.2	2,900.0
B.	Expenses				
1	Owner's Insurance	17.4	12.8	35.0	26.6
2	Permits	Not Included	Not Included	Not Included	Not Included
3	Printing	12.0	12.0	12.0	12.0
4	Construction Utilities Use	w/ Constr	w/ Constr	w/ Constr	w/ Constr
5	Site Borings	w/ GeoTech	w/ GeoTech	w/ GeoTech	w/ GeoTech
6	Materials Testing	50.0	42.6	25.0	50.0
7	Special Inspections	-	-	-	-
8	Consultant Reimbursables	25.0	25.0	25.0	25.0
9	Moving/Relocation	25.0	40.0	80.0	50.0
10	Physical Plant Expenses	-	-	-	-
11	Misc. Expenses	25.0	25.0	25.0	25.0
12	Advertising	5.0	5.0	5.0	5.0
13	Temporary Space/Operations	-	-	180.0	-
14	Financing Costs/Bond Origination	50.0	50.0	50.0	70.0
15	Site Acquisition	N/A	N/A	N/A	N/A
Sub-total Expenses		209.4	212.4	437.0	263.6
<b>Total Fees and Expenses</b>		<b>2,114.2</b>	<b>1,696.7</b>	<b>2,053.2</b>	<b>3,163.6</b>
V.	<b>Contingency</b>				
A.	Construction	1,162.6	852.5	930.5	1,771.8
B.	Owner's Project	709.6	541.4	598.2	1,089.6
<b>Total Contingency</b>		<b>1,872.2</b>	<b>1,393.9</b>	<b>1,528.7</b>	<b>2,861.4</b>
<b>Total Project</b>		<b>\$ 16,064.4</b>	<b>\$ 12,221.6</b>	<b>\$ 13,492.4</b>	<b>\$ 24,652.8</b>

Colliers PM/NE  
67 Hunt St.  
Agawam, MA

## Public Safety Design & Construction Options Westminster, MA

Westminster, Town of  
Westminster, MA  
Public Safety Bldg Committee

ID	Task Name	Duration	Cost
1	<b>Fire Station New Location</b>	<b>620 days</b>	<b>\$16,064,400.00</b>
2	Local Funding (STM)	2 mons	\$10,000.00
3	Design/Precon	7 mons	\$2,034,200.00
4	Bidding	8 wks	\$35,000.00
5	Local Funding (STM)	1 mon	\$10,000.00
6	Construction-Fitout	18 mons	\$13,950,200.00
7	Relocation	1 mon	\$25,000.00
8	<b>Police Station New Location</b>	<b>620 days</b>	<b>\$12,221,600.00</b>
9	Local Funding (STM)	2 mons	\$10,000.00
10	Design/Precon	7 mons	\$1,601,700.00
11	Bidding	8 wks	\$35,000.00
12	Local Funding (STM)	1 mon	\$10,000.00
13	Construction	18 mons	\$10,524,900.00
14	Relocation	1 mon	\$40,000.00
15	<b>Staggered Project Approach</b>	<b>1179 days</b>	<b>\$29,556,800.00</b>
16	<b>New Fire, New Site</b>	<b>620 days</b>	<b>\$16,064,400.00</b>
17	Local Funding (STM)	2 mons	\$10,000.00
18	Design/Precon	7 mons	\$2,034,200.00
19	Bidding	8 wks	\$35,000.00
20	Local Funding (STM)	1 mon	\$10,000.00
21	Construction-Fitout	18 mons	\$13,950,200.00
22	Relocation	1 mon	\$25,000.00
23	<b>New Police Station Existing Site</b>	<b>620 days</b>	<b>\$13,492,400.00</b>
24	Local Funding (STM)	2 mons	\$10,000.00
25	Temporary Relocation	22 mons	\$250,000.00
26	Design/Precon	7 mons	\$1,708,200.00
27	Bidding	8 wks	\$35,000.00
28	Local Funding (STM)	1 mon	\$10,000.00
29	Construction	18 mons	\$11,439,200.00
30	Relocation	1 mon	\$40,000.00
31	<b>New Public Safety Facility, New Site</b>	<b>650 days</b>	<b>\$24,652,800.00</b>
32	Local Funding (STM)	2 mons	\$10,000.00
33	Preliminary Design, CM Selection	9.5 mons	\$750,000.00
34	Local Funding (STM)	2 mons	\$10,000.00
35	Design/Precon	4 mons	\$2,293,600.00
36	CM/Trade Contractors	8 wks	\$60,000.00
37	Construction	18 mons	\$21,489,200.00
38	Relocation	1 mon	\$40,000.00





*SUMMARY OF RESULTS*



### Structural

The current structure is deficient for this building type. Public Safety Facilities are considered Essential Service Facilities and have an increased wind and seismic load requirement over other municipal buildings. As such, numerous structural upgrades will be required should this building be part of a renovation / addition. The existing roof structure is assumed to be designed for a snow load of 35 psf. The current building code for this building type requires a snow load of 50.4 psf. This would likely require a full replacement of the entire roof structure. Additionally, most of the CMU (Concrete Masonry Unit) walls are not seismically braced to the structure reducing the buildings lateral load capacity. For wood framed walls, many of the existing are acting as shear walls. If more than 10% of these are altered than additional reinforcing will need to be installed.

### Architectural

The current site and building will require significant upgrades and renovations in order to create a new, code compliant facility.

The concerns with the site include, flooding from the adjacent stream, a high water table (+/-5'-0" below grade), and a sub-surface soil condition that may result in inadequate bearing capacity for any additions. Whether or not this building is renovated or replaced these concerns will need to be addressed. To mitigate flooding risk the site should be elevated by several feet. Additionally it would be recommended that a retaining wall be installed to harden the banks of the stream to prevent erosion damage to the site and future breaches of the bank. The high water table and presence of organic material between current grade and -8'-0" +/- below grade will require a detailed geotechnical analysis, which is likely to recommend either driven piles, or a combination of rammed aggregate piers and grouted aggregate piers to increase site bearing capacity and soil stabilization.

Many of the buildings exterior finishes will need to be replaced within the next few years if the structure is to be preserved. In particular, the siding and the low slope EPDM roof require immediate attention to prevent interior water damage.

The interior of the building has several concerns that will need to be addressed. First, a HazMat review will need to be conducted to determine the extent of abatement that will be required. Based on the 1995 drawings it is assumed that the building contains ACM (Asbestos Containing material). It has not been confirmed if additional hazardous materials are present at this time.

Many of the room layouts do not currently work with the departments use, and have several ADA (Americans with Disabilities Act) violations. As noted in the structural review, if many of the walls are modified then additional structural bracing will be required. Additionally, the thermal envelope is significantly out of compliance with the current energy code. However, as noted in the structural review, this cannot be achieved without replacing the roof structure as the snow load cannot be increased as currently designed.

Significant modifications would also be required to bring this facility up to current standards for Police, Fire and Dispatch facilities. It is also noted that this construction type will not allow for this building to be compliant with NFPA 1221, which is the standard for emergency services communications facilities. Current separations between the apparatus bays and the rest of the building are limited and may be resulting in cross contamination of hazardous materials that are brought in by fire fighters on their gear when they return from a call. This may pose a potential health risk to the department.

### **MEP Systems**

Many of the buildings mechanical systems were installed during the 1995 renovation. Several components have been replaced recently, but most of the systems installed in 1995 will need to be replaced with the renovation. If the building is not renovated then these systems will likely need to be replaced over the next 5 years.

Currently, portions of the communications equipment servers are housed in the mechanical room causing heating and cooling conflicts. These functions will need to be separated. Also, the current building has limited air conditioning. Lighting is currently limited to T8 lamps. It is recommended that these be replaced with LED lighting in order to have the building in compliance with the energy code.

### **New Facility Costs**

Based on the programs that were developed an opinion of probable costs for each facility was prepared. To these construction costs escalation was accounted for based on the different assumed construction schedules for each facility, as well as soft costs for project development. These options were estimated to the assumed mid-point of construction.

Option 1 - New Fire Station on a new site, year 2020, for a cost of \$16,064,400

Option 2 - New Police Station on a new site, year 2020, for a cost of \$12,221,600

Option 3 - New Police Station on the existing site, year 2022, for a cost of \$13,492,400

Option 4 - New Public Safety on a new site, year 2020, for a cost of \$24,652,800

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## **CONCLUSION**

In summary, there are numerous significant deficiencies with this building as designed for an essential services facility. Major structural, thermal envelope, and mechanical systems will need to be upgraded in order for this building to comply with the current codes, and standards that govern this type of facility.

It is the recommendation of this study that the amount of upgrades required to have this building be functional and code compliant are too significant for a renovation to be feasible. It would be less costly, and likely will result in a better performing building for the Town of Westminster if this building is either demolished and a new building is constructed in its place, or a new Public Safety Facility be constructed on a different site.

**Tecton**  
ARCHITECTS

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