

PUBLIC SAFETY FACILITY ASSESSMENT

TOWN OF WESTMINSTER, MA

MARCH 2019



Tecton
ARCHITECTS



JOHNSON
STRUCTURAL
ENGINEERING

PR **PACHECO ROSS**
a division of H2M architects + engineers
EMERGENCY RESPONSE FACILITIES



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EXECUTIVE SUMMARY

EXECUTIVE SUMMARY

In January of 2019, working with Colliers International, the Owners' Project Manager, Tecton Architects, P.C. was contracted to conduct a facilities assessment of the existing Public Safety Facility in the Town of Westminster, MA. Additionally, a space needs assessment was conducted for a new Police Station, new Fire Station and a third possibility of a new joint Public Safety Facility. From the space needs assessments, an opinion of probable costs for each scheme. The purpose of this study was to assist the Town of Westminster in determining whether the existing facility could be renovated to accommodate one or both facilities or if a new facility would need to be constructed on a different site.



STUDY PROCESS

Tecton Architects, P.C. conducted separate interviews with both the Police, and Fire Departments. In those meetings Tecton, and Pacheco Ross Associates (PRA), Tectons' fire station programming consultant, met with each Chief and key personnel to review the following:

- Current department staff
- Future staff projections
- Current town population
- Future town population projections
- Current issues with the existing site
- Current issues with the existing facility
- How the current facilities function
- How the facility would ideally function in the future
- Opportunities for spaces that can be utilized for training
- Safety and Security
- Parking and site features

From this information Tecton reviewed each potential space that is currently utilized in similar sized departments. That information assisted the development of the programs found in this document.

Once the programs were established an opinion of probable costs (OPC) was developed for each scheme utilizing current market data to assign costs per square foot for each facility, and escalated to the assumed mid-point of construction, based on the included schedule.

In addition to the programming of the new facilities Tecton in association with Consulting Engineering Services (CES), the MEP engineer, and Johnson Structural Engineering, (JSE), the structural engineer, an existing facility assessment was conducted. The purpose of this study was to understand the value of the existing building and what modifications would be required to have the existing facility comply with the current building code. It should be noted that where mechanical systems are listed as 'nearing the end of their usable life' that ASHRAE 90.1 identifies that MEP systems have an assumed life expectancy of 30-50 years. With that assumption, most of the MEP systems may begin to fail as soon as the next 5 years.

This information was then assembled into this document for the Town of Westminster's use in moving forward with the construction and / or renovation based on the recommendations outlined in this study.

EXISTING FACILITY ASSESSMENT
ARCHITECTURAL NARRATIVE

EXISTING BUILDING

11

EXISTING FACILITY
ASSESSMENT

Location

7 South Street
Westminster, MA 01473
Tax map ID 110//99//
Zoned - R1

Site

- Size - Approximately 4 acres divided between both Public Safety and Town Hall
- Public Safety portion of the site = 1.6 acres before factoring wetlands and setbacks.
- Setbacks per Zoning 205 Attachment 2 are as follows:
Front = 25', Rear = 20', Side = 15'
- Parking - 42 Spaces

Building Description

- Use Group - B Business
- Construction Classification 5B Combustible Unprotected
- Wood framed with wood trusses
- Fire Suppression - Yes
- Area - 11,182 Gross Square Feet
- Stories - 2, no basement
- Max Allowable Height per Zoning 205 Attachment 2 - (2-1/2) Stories at 35'-0",
- Actual height of existing building at 45'-0" +/-
- First constructed during the 1950s with an addition in the late 50s and renovated to the current status in 1995.
- Floor to floor between ground level and upper level = 12'-4"
- Portions of the Town Halls' third floor are currently utilized to provide the Police Department with their records storage.



EXTERIOR

SITE

Current size utilization is near 100%, with little or no possibility to expand the facility. The existing building is on a municipal lot that was subdivided when the new Town Hall was constructed. The existing public safety facility is flanked by parking and drive aisles to the South and East and a return / response drive for the Fire Department to the Northwest. The North and West sections of the site are cut off from future development due to an active stream, and sections of the building, and out buildings, appear to currently be within, or close to the 25' buffer required from wetlands by the Conservation Commission bylaws (002 / 003). This would make alterations to these sections of the site and building difficult without a variance. Snow storage is also limited by the stream and shape of the site. It has also been reported by the department that there has been a history of the stream overflowing its bank bringing the high water line into the existing apparatus bays.

Bituminous pavement and concrete aprons for the apparatus bays are deteriorating, and will likely need replacement in the next 5 years (001). Parking is also not adequate to serve this facility. Currently, visitor parking is limited to a couple of spaces adjacent to the visitor entrance, if those are occupied then visitors will need to park closer to Town Hall, forcing them to walk across the Fire Department apron. This is not a preferred arrangement and is a potential hazard (004).

The presence of hazardous materials was not confirmed as part of this study. It is recommended that a Phase I Environmental Study be conducted to determine if hazardous materials are present.

Tecton received and reviewed the construction documents from the 1995 addition / renovation by Haynes Lieneck and Smith, Inc. Architects. Drawing A1 provides data from the geotechnical boring logs. The borings indicate a consistent water table between 4'-0" & 5'-0" below existing finish grade. Additionally, organics including peat, and degrading wood and roots were encountered up to 8'-0" below the existing finish grade. Should any additions or new buildings be constructed on this site a thorough geotechnical analysis should be conducted to determine what is required to provide adequate bearing capacity. With the elevated water table and adjacent stream, it may not be feasible to remove and replace this existing material with structural fill. The soil may require stabilization by installing a combination of grouted aggregate piers (GAPs) and rammed aggregate piers (RAPs), or by driven piles. It should be noted, however, that the existing building does not show signs of damages related to uneven settling.



001



002



003



004



005



006

BUILDING

Roof

Sloped roofs - 3 tab shingles, age of the roof was not verified, but there is one layer installed and on a visual inspection would be approximately 75% through its replacement cycle.

Flat / low slope roof - EPDM membrane roofing system - Small portion over the existing Sally port. Roof condition could not be verified due to snow cover. It was noted that the intersection with exterior wall has an issue with persistent leaking. This is likely caused by either deterioration or improper installation of the wall flashing.

Most of the building does not have storm-water controls from the roof, such as gutters and downspouts. The few that are installed on the building are either damaged, or draining towards the building instead of away. These should be repaired or replaced and the areas that do not have gutters should have them added.

Fascia and Trim

Roof edge trims, such as fascias and frieze boards are aluminum wrapped wood. Other trims and soffits are vinyl. Most of this material is in fair condition, with only specific areas requiring repair from either impact damages or mold and mildew propagation (005 / 006).

Windows and Doors

Windows - Vinyl double hung with 7/8" insulated glazing with simulated divided lites. Appears to be residential grade. U-value could not be confirmed, but is likely not in conformance with the current energy code.

Man Doors -Hollow metal with single glazed lites. Minimal rust was evident. Likely do not meet the current energy code, but are in generally good condition.

Overhead Doors Vinyl or Aluminum sectional overhead doors. Doors at the apparatus bays have lites in the third panel from the bottom. Could not verify if the over-head doors are insulated or if they meet the current energy code. The finish is wearing slightly and multiple bottom panels do not match the rest of the doors as they appear to have been previously damaged (007). Door bottom seals and weatherstripping does not appear to be functioning as intended and requires replacement. Only the 2 central apparatus bay overhead doors are adequate in size, standard size for an apparatus bay overhead door is 14'-0" x 14'-0".



007



008



009



010



011

Siding

Siding is generally in poor condition. Specific areas require repair from impact damages (008 / 009). Other locations, specifically on the North side of the building where sun exposure is limited, mold and mildew has propagated and needs to be cleaned (010 / 011).

Envelope

It was verified that the attic is currently insulated with approximately 6" of blown in cellulose insulation. At an average aged R-value of 3.5r/inch the total assumed R-value is an R21. The minimum required by the energy code is R-38, which is a 45% increase. If additional insulation is added to bring the envelope to the current code additional structure and bracing will need to be added (refer to structural report found later in this document). Wall insulation was not able to be identified. On the original building it was evident that a layer of 1/2" poly-iso rigid insulation was installed prior to the vinyl siding, and the existing drawings from the 1995 addition identify 6" fiberglass insulation. In addition to the insulation, it could not be verified if a code compliant air vapor barrier and / or vapor retarder are installed on either the original building or the addition, although the 1995 drawings also indicate that a vapor barrier is installed on the interior face of the framing behind the gypsum board. These will need to be verified and/or brought up to the current building & energy code should the building be renovated.

POLICE DEPARTMENT

Hazardous Material Concerns

It is noted on the most recent renovation addition drawings from 1995 that new gypsum ceilings were to be installed over existing (ACM). Based on this information we are to assume that asbestos containing material (ACM) is present in the building and will be required to be abated as part of either a renovation/addition or for the complete demolition of the existing building. There may also be additional encapsulated hazardous materials in the building, as well as damp-proofing under the slab and in the exterior walls as well. It is recommended that a hazardous material survey be conducted to confirm if these materials are present and what the process to abate will be.

Code / ADA Concerns

Several doors do not have ADA (Americans with Disability Act) compliant push/pull clearances. The facility currently has a Limited Use Limited Accessibility (LULA) Lift installed in lieu of an elevator. Inside the elevator machine room there is a 521 CMR (Architectural Access Board Guidelines) variance letter. With a renovation/addition, this will not suffice as a compliant method of vertical accessible circulation and a modern elevator and machine room will need to be installed that is in compliance 524 CMR (Massachusetts State Elevator Code) (012 / 013). Current stairs between the training room, police offices and the fire department do not have areas of rescue either. In order for this facility to be ADA compliant, accessible means of egress must be installed.

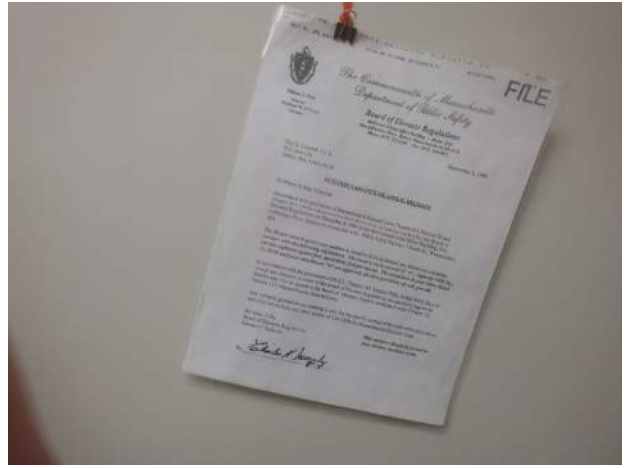
Booking and Cells

There is currently only a single cell. The cell is directly off of the booking room and does not have compliant sight sound separation. Also, the penal toilet sink combo is not an ADA compliant fixture. The diffusers for the HVAC system to the cell appears to be MaDPH 105 CMR (Massachusetts Department of Public Health Regulations) compliant. The requirement is that the perforations are no larger than 1/8". The ceilings are low, approximately 8'-6". It is recommended that ceilings in the cells are kept to a minimum of 10'-0". We were not able to determine if the existing HVAC system comply with MaDPH requirements for air hourly air changes while a person is detained (014 / 015).

The booking area is functional and adequately sized. The biggest concern in this space is the millwork. All of the counters and cabinets are plastic laminate over particle board. The adhesive has begun to break down over time and is causing the finish to de-laminate. This material is very rigid and sharp, and should a detainee get a hold of a piece of this material, it can be used as a weapon to either harm oneself or the attending officer (016 / 017).



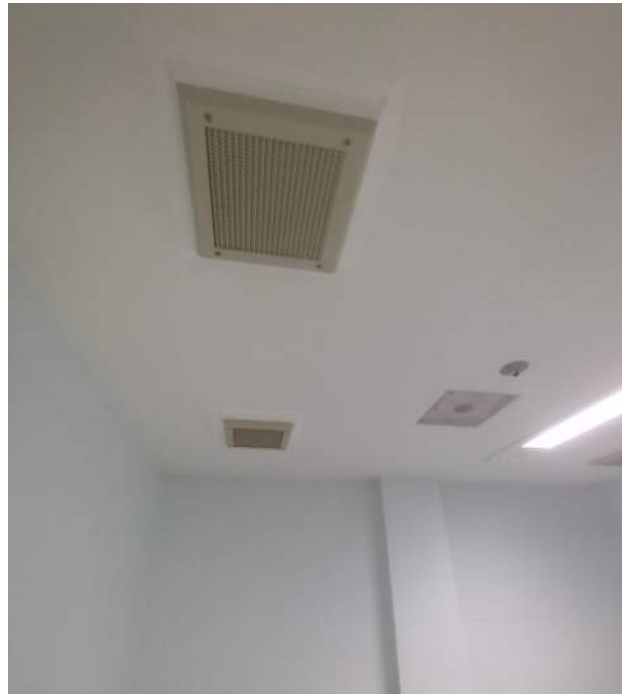
012



013



014



015



016



017

Dispatch

The space is very small for a similarly sized dispatch center. Consoles are against the wall in the corner and do not allow for direct visual access to the public at the lobby. Storage is limited. Public facing walls and windows are not bullet resistant. Finishes are in fair condition, but because of the layout of the space the department has reported that cleaning is an issue(018 / 019). There is also no central vacuum system installed. Since this continually operated it is recommended that a central vacuum system be utilized to reduce noise while cleaning and cut down on distractions to the dispatchers.

The current design of the dispatch center is also not NFPA 1221 compliant (Standards for the installation, maintenance, and use of emergency services communication systems). While this is not required by the building code, this is a recommended standard for dispatch facilities. Current deficiencies with this facility would include but are not limited to, 2 hour fire separation of the dispatch center and communications equipment (server/IT) from the rest of the building, the building being of non-combustible construction, and direct egress for the dispatchers to the exterior of the building. The construction of the current building will not allow for this facility to be compliant with this standard.

SHARED FACILITIES

Lobby

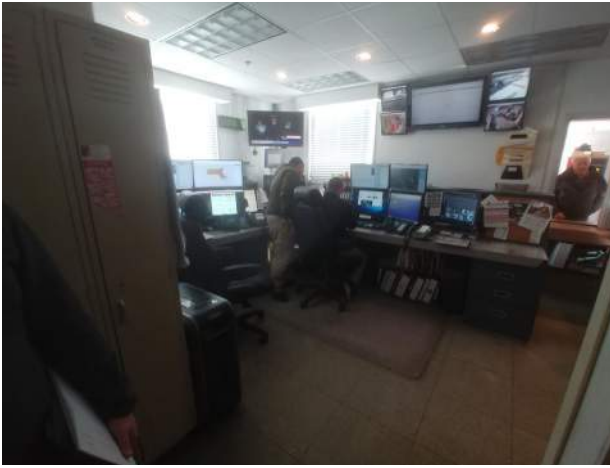
The lobby is generally small and connects both police and fire administration. There is a single small conference room that will seat 6-8. There are (2) single hold restrooms, male and female. A concern with the layout of the lobby is that it has several locations where a person can conceal themselves from direct view of the dispatchers which is a potential safety concern for staff.

Training Room

The existing training room is in good condition. Technology upgrades would be necessary. The ceiling height for the size of the room is too low for adequate displays. If this space was to be renovated for use as a modern training room and Emergency Operations Center (EOC), additional monitors should be placed around the perimeter and power and data floor boxes should be installed under the tables (020 / 021).

Fitness

Fitness Room is small for the size of the department. Flooring is broadloom carpet, which is not appropriate for sanitation or reducing sound transfer to the floor below. Locker facilities are small and do not provide adequate personnel storage(22 / 23).



018



019



020



021



022



023

The apparatus bays are in fair condition. The slab is called out as 6" concrete per the 1995 addition drawings with no radiant flooring. For modern loads imposed on these slabs it is preferred that an 8" slab with radiant flooring be provided (024). The transitions between the slab and the apron are deteriorating, causing cold air and water to infiltrate under the overhead doors (025). Floor drainage is undersized. Typically 24'-0" long trench drains should be installed on center between each bay rather than single 4" round drains (027).

Storage for the department is an issue. Currently, items that should be stored in separate rooms are stored in racks within the bays (026). In addition to storage, the adjacencies to the bays is a health issue. Break and kitchen areas, the day room and bunks are all directly off of the apparatus bay without a transition zone. Best practices require a transition zone where hazardous particles can be removed from clothing when going from the 'hot zone' to the 'cold zone'. There should also be positive pressure from cold to hot as well to prevent the spread of containments. This is a necessity in new fire station design to reduce the exposure to toxic chemicals and debris.

The rest of the fire facility is undersized. Most rooms serve multiple purposes, where they should only serve one. As an example, the day room also has EMS storage for the within it. The bunk room is only a single room with 2 beds, making it awkward for male and females to serve on the same 24 hour shift.

Finishes are in poor condition. Many are close to the end of their usable life and should be replaced with more durable finishes that will withstand the additional abuse they receive as a result of the nature of how firefighters conduct their daily business.



024



025



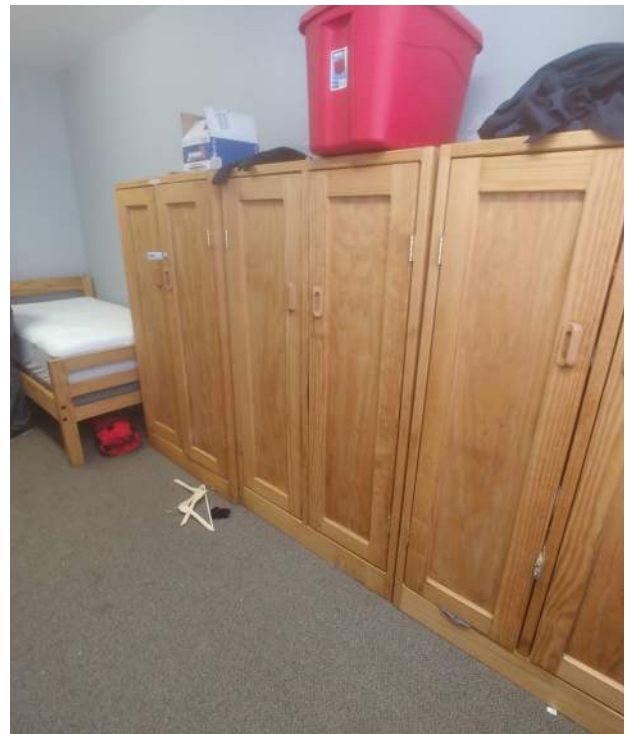
026



027



028



029

SUMMARY

The existing building has many critical deficiencies for a modern public safety building. It is significantly undersized for the sizes of these departments and their functions. The fire, police and dispatch functions are not designed to meet current standards for safety and functionality. The buildings structure is significantly deficient. Many of the interior and exterior finishes are near the end of their usable life. There is the presence of hazardous materials in the building, both in the finishes and due to the lack of separation of the apparatus bays and the rest of the facility. Based on these findings and of those under the MEP and structural reviews found later in this report it is our recommendation that it is practically infeasible for this building to be renovated and/or added on to in a way that it would appropriately serve its function.

EXISTING FACILITY ASSESSMENT
STRUCTURAL NARRATIVE

February 4, 2019

Tecton Architects
One Hartford Square West
Hartford, CT 06106
Attn: Matthew Salad

Re: Structural Review
Westminster Public Safety Complex
South Street
Westminster, MA

Dear Mr. Salad:

As per your request, Johnson Structural Engineering (JSE) has performed a structural review of the existing Westminster Public Safety Complex. The structural review included a visual inspection of the exposed building structure and a structural code review to identify the structural implications of future alterations, renovations, and a potential addition. The following report summarizes the results of the structural review.

Existing Condition

Travis Alexander of JSE performed a site visit at the Westminster Public Safety Complex on January 22, 2019 to visually inspect the existing building structure. Please note that the inspection was limited to the existing structure that was accessible at the time of the site visit. The building is comprised of the original two-story structure, which houses the Police Department, and an addition that was constructed in 1995-1996, which houses the Fire Department. A majority of the structure is concealed by hard ceilings. The roof structure for the original building is comprised of wood trusses that are spaced at 2'-0" on center (o.c.) (see photograph #1). The second floor framing were not accessible during the site visit. It is likely that the second floor structure is comprised of wood joists that are supported by dropped beams and steel columns (see photograph #2). It is assumed that the dropped beams are steel W-shape beams. There are numerous CMU partition walls that stop just below the hard ceiling and are not anchored to the floor structure above (see photograph #3). The first floor is a concrete slab-on-grade. Numerous hairline cracks were observed along the concrete slab in the mechanical room of the Police Department (see photograph #4). It appears that the concrete slab is not properly sloped in the garage bay at the Police Department due to standing water that was observed during the site visit (see photograph #5). It is assumed that the existing exterior walls and full height interior masonry walls that align floor to floor act as shear walls, and therefore comprise the lateral system of the building.

A set of the original architectural drawings from the 1995 Fire Department addition were provided to your office during the site visit. The drawings were prepared by Haynes Lieneck and Smith Inc. and dated February 23, 1995. The drawings indicate that the roof structure for the addition is comprised of plywood sheathing supported by wood trusses that are spaced at 2'-0" o.c. The second floor structure is comprised of plywood



1 - Roof Structure - Police Department



2 - Second Floor Structure - Police Department

sheathing supported by wood trusses that are spaced at 2'-0" o.c. The roof framing and second floor framing are supported by 2x6 wood stud bearing walls along exterior and interior bearing lines. It is assumed that the existing exterior and interior wood stud walls that align floor to floor act as shear walls, and therefore comprised the lateral system of the building.

Structural Code Review

The International Existing Building Code 2015 (IEBC) and the 9th Edition of the Massachusetts State Amendments to the International Building Code 2015 (780 CMR) were reference for the structural code review.

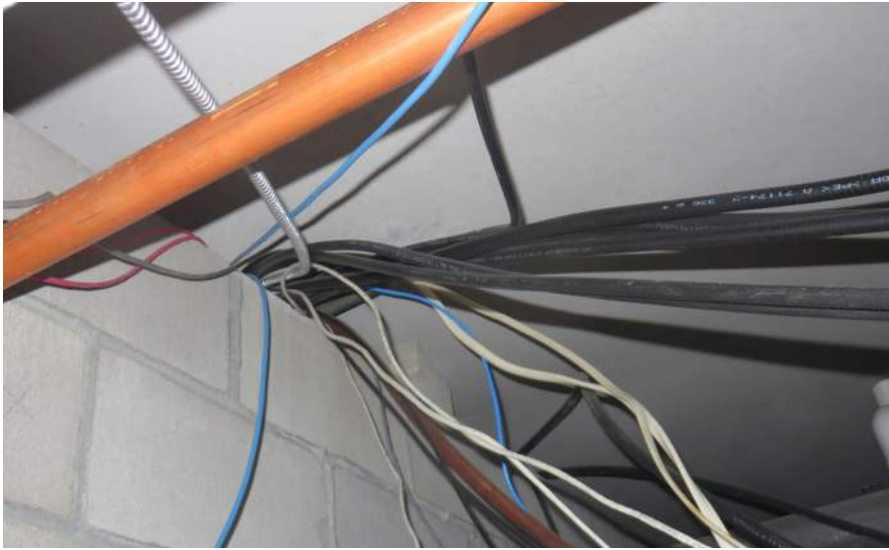
For the purpose of the structural code review, it is assumed that the entire building will be involved in alterations and renovations. Since the work area exceeds 50 percent of the building area, the proposed alterations and renovations are classified as Level 3 Alterations (IEBC Section 505). The structural requirements provided in IEBC Chapter 9 must be satisfied for Level 3 Alterations.

Gravity System

The second floor area in the Police Department is currently used as office space. It is likely that the alterations and renovations will not result in a change of use for the space or impose any additional load onto the existing second floor framing (IEBC Section 907.3). In order to verify the live load capacity of the existing second floor structure, selective demolition will need to be performed in order to expose the framing members.

The second floor area in the Fire Department is currently used as a training room. It is likely that the alterations and renovations will not impose any additional load onto the existing second floor framing or result in an increase in the live load (IEBC Section 907.3). In order to verify the live load capacity of the existing second floor wood trusses, selective demolition will need to be performed to expose the trusses. Please note that the second floor structure for the addition was likely designed for 100 pounds per square foot (psf) for assembly space with moveable seats per the 5th Edition of the Massachusetts State Building Code from when the 1995 addition was originally designed.

It is JSE's recommendation that the R-value of the insulation in the attic space for both the original building and the 1995 addition is not increased over the R-value of the insulation that currently exists. An increase in the R-value of the attic insulation will result in less heat loss through the attic and roof structure. The heat loss helps to melt any built-up snow on the roof. If there is less heat loss through the attic and roof structure, then there could be more snow build-up on the roof. A structural analysis will need to be performed to verify the snow load capacity of the existing roof trusses that frame the roof over the original portion of the building. It is likely that the roof structure for the 1995 addition were designed for a 35psf snow load per the 5th Edition of the Massachusetts State Building Code. Please note that the current 780 CMR design snow load for "essential facilities" located in Westminister, Massachusetts is 50.4psf.



3 - CMU walls to underside of hard ceiling - Police Department



4 - Concrete slab-on-grade hairline cracks - Police Department



5 - Standing water in Sally Port - Police Department

Lateral System

As previously stated, it is assumed that the existing exterior walls and full height interior masonry walls that align floor to floor in the original building and the existing exterior walls and interior bearing walls of the 1995 addition act as shear walls, and therefore comprise the lateral system of the building. If the proposed alterations and renovations result in new openings within the existing shear walls or the demolition of any existing shear walls which increases the demand-capacity ratio for the existing shear walls that are to remain by more than 10 percent, then the existing shear walls that remain will need to be reinforced accordingly. Typical reinforcing will likely include additional hold-downs and/or straps at the ends of the shear walls and plywood sheathing. Please note that the current design wind load and seismic force are greater than those specified in the 5th Edition of the Massachusetts State Building Code from when the 1995 addition was designed.

Wall ties must be installed to anchor all existing masonry walls to the floor and roof diaphragms (IEBC Section 907.4.5).

Addition

If any new additions are proposed as part of the alterations and renovations to the existing building, then the structural design of the addition must comply with the gravity and loads specified in the International Building Code 2019 for new construction and the requirements specified in IEBC Chapter 11. Any new additions must be kept structurally separated from the existing building in order to avoid imposing any additional lateral load into the lateral system of the existing building. If the addition imposes any snow drift onto the existing roof structure, then the existing roof structure will need to be reinforced accordingly.

If you have any questions regarding this report, please do not hesitate to call.

Sincerely Yours,
Johnson Structural Engineering, Inc.

Robert A. Johnson, P.E.
President

EXISTING FACILITY ASSESSMENT
MEP NARRATIVE

EXISTING FIRE PROTECTION SYSTEM

1. The building currently has a fully automatic wet sprinkler system installed throughout the whole facility. The fire protection service enters the Apparatus Bay and piping is routed to feed all spaces in the building. This service is 8" from the site into the building and then reduced to 4" inside the building. All piping was observed to be steel with mechanical and screwed fittings. This system appears to have been installed in the 1995 renovation and is nearing the end of its useful life. (FP-1)



FP-1

PLUMBING NARRATIVE

EXISTING PLUMBING AND PIPING SYSTEMS

1. Domestic Water Service: The domestic water service enters the building in the Apparatus Bay. The water service to the building is 4" and reduces to 2 ½" inside. The service and meter appears to have been installed in the 1995 renovation and is nearing the end of their useful life. (P-1)
2. Domestic Water Piping: The domestic water piping in the building was observed to be copper with soldered joints. This piping appears to have been installed in the 1995 renovation and is nearing the end of their useful life.
3. Natural Gas Service: The natural gas service enters the building on the north side of the building. Natural gas piping was observed to be steel with welded and threaded joints. This gas service appears in good condition but appears to have been installed in the 1995 renovation and is nearing the end of its useful life. The natural gas service feeds the boilers and water heaters. (P-2)
4. Sanitary and Storm: The building's sanitary and storm piping was observed to be cast iron and copper. All piping's appears to have been installed in the 1995 Renovation and at the end of its useful life. There is no internal storm drainage piping as all storm is handled with gutters and downspouts on the edge of the roof.
5. Domestic Hot Water System: Domestic water is currently generated by a single gas fired Water Heater. The heater is a Rheem 82 Gallon Tank with an input of 156,000 BTUH. The tank was manufactured in 2010 and is in good condition. (P-3)



P-1



P-2



P-3

MECHANICAL NARRATIVE

MECHANICAL SYSTEMS

Existing Boiler Plant

1. The existing boiler plant consists of three (3) boilers. One boiler feeds the Fire Department side while the other feeds the Police Department Side. The first boiler feeds the Fire Department side and is a natural gas Burnham Boiler rated at 800,000 BTUH input. (M-1) This boiler appears to have been installed in the 1995 renovation and is nearing the end of its useful life. The other two (2) boilers are natural gas fired Peerless Boilers rated at 200,000 BTUH input each. (M-2) These boilers were installed around 2006 and are in good working condition.

Existing Heating, Ventilating, and Air Conditioning Devices

1. The building is currently heated through the use of hydronic baseboard radiation, electrical baseboard radiation, hydronic fan coils and hydronic unit heaters. The age of the terminal devices varies for original to the building to the 1995 renovation. (M-3) The majority of all terminal units were installed in the 1995 renovation. With the different ages of the equipment most are nearing the end of their useful life while some are past their useful life. Piping serving all terminal devices was observed to be a combination of copper and steel. This piping was also installed in the 1995 renovation and is nearing the end of its useful life.
2. Exhaust from bathrooms, storage rooms and janitor's closets are achieved through the use of ceiling mounted exhaust fans. The fans are ducted to the outside with sheet metal ductwork. These fans were installed in the 1995 renovation and at the end of their useful life.
3. Air Condition in the facility was achieved through the use of Ductless Split Air Conditioners. Air conditioning was limited to Second Floor Sever Room, Booking, Dispatch, Control and Bunk Rooms. Some of these air conditions are from the 1995 renovation and are at the end of their useful life while a couple have been put in within the last few years. (M-4) All other areas that had air conditioning were from window mounted packaged Air Conditioners.
4. The apparatus bay is currently served by an exhaust system that ventilates the bays. This system brings 100% outside air into the south side of the bays and exhausts it on the north side of the space. The trucks in this space are also served by a vehicle exhaust system that attaches the exhaust outlets of the vehicles. (M-5) While these systems meet the codes they require a lot of exhaust air that needs to be heated and is not very energy efficient. These systems appear to be have been installed in the 1995 renovation and are nearing the end of their useful life.



M-1



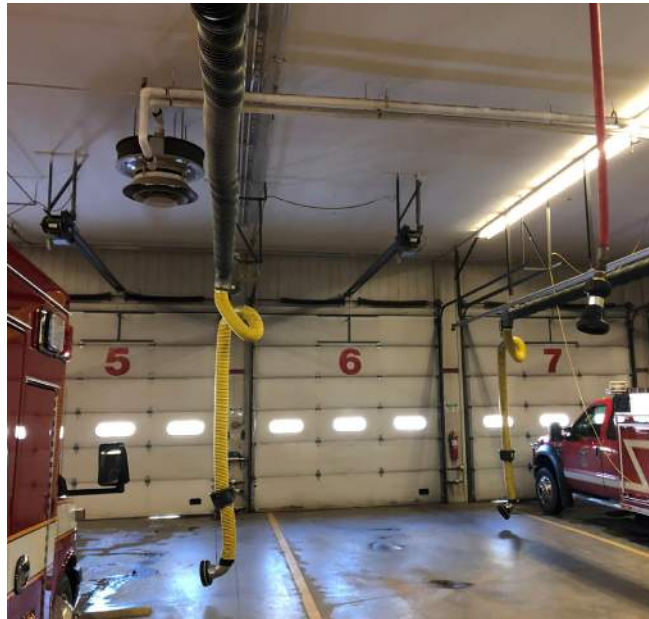
M-2



M-3



M-4



M-5

ELECTRICAL NARRATIVE

ELECTRICAL SYSTEMS

Electrical Service and Distribution:

1. Electrical services: The service to this building is a 208Y/120V – 3 phase, 400 Amps underground feed. It terminates at a main distribution panel in the Main Electrical Room of the Building. The main distribution panel is manufactured by Siemens and was installed in the 1995 Renovation. This panel is nearing the end of its useful life. (E-1)
2. Electrical distribution: The electrical infrastructure of this building received a major overhaul in 1995. At this time the new addition was provided with a complete new electrical distribution system. The original portion of the building was back fed from the new service and the majority of the original wiring and panels were existing to remain. The wiring that is original is past its useful life and the wiring that was installed in the 1995 renovation is nearing the end of its useful life.

Existing On Site Power Generation System

1. The building is currently served by an onsite diesel generator. The generator is manufactured by Kohler and rated for 60 KW. This generator serves backup for major components in the building but is not for life safety items. (E-2)

Existing Fire Alarm System

1. Fire Alarm Panel: The building is equipped with a Notifier System 5000 Fire Alarm Control Panel located at the electrical room. This panel is at the end of its useful life and is not addressable.



E-1



E-2

Interior Lighting

1. Lighting is accomplished by the use of 1'x4', 2'x2' and 2'x4' Fluorescent fixtures, with T8 lamps. These fixtures were installed in the 1995 renovation and are at the end of their useful life. (E-3)
2. Lighting fixtures are generally controlled by wall mounted toggle switches. No occupancy sensor and daylight control devices were observed in the building, with the exception of a few combination switch/sensors that have been added.

Exit Signs and Emergency Lighting

1. Emergency Lighting: Emergency lighting is provided via an emergency lighting battery packs located in the fixtures of the building.
2. Exit signs within the building are of mixed type. Most of the signs are aged and at the end of their useful life.

Exterior Lighting

1. Exterior lighting is currently accomplished by building-mounted wall packs mounted on the perimeter walls of the building.



E-3

POLICE STATION PROGRAM

Police Facility

New Programmed Area Name		Program Area
1 .	Public	
1.01	Vestibule	80 s.f.
1.02	Lobby	450 s.f.
1.03	Public Interview/Licensing Room	160 s.f.
1.04	Male Restroom	160 s.f.
1.05	Female Restroom	160 s.f.
Subtotal:		1010 s.f.
2 .	Dispatch Center	
2.01	Dispatch Center	450 s.f.
2.02	Dispatch Supervisor	120 sf
2.03	Unisex Restroom	65 s.f.
2.04	Comm Eq. / IT	200 s.f.
2.05	Break Area	135 s.f.
Subtotal:		1105 s.f.
3 .	Records	
3.01	Records Archive	120 s.f.
3.02	Central Photocopy	50 s.f.
3.03	Office Supply Storage	10 s.f.
Subtotal:		180 s.f.
4 .	Community/Training Room	
4.01	Training Room	1360 s.f.
4.02	Supply Storage	25 s.f.
4.03	Furniture Storage	100 s.f.
4.04	Kitchenette	20 s.f.
Subtotal:		1505 s.f.
5 .	Patrol Facilities	
5.01	Sergeants	240 s.f.
5.02	Patrol Conference	150 s.f.
5.03	Report Preparation/Squad Room	200 s.f.
5.04	Quartermaster Storage	80 s.f.
5.05	Weapons Cleaning	40 s.f.
5.06	Armory	40 s.f.
Subtotal:		750 s.f.

SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Police Facility

New Programmed Area Name		Program Area
6 .	Investigative	
6.01	Detective's Office x 2	280 s.f.
6.02	Interview Room	100 s.f.
6.03	Equipment Storage Room	12 s.f.
Subtotal:		392 s.f.
7 .	Department Administration	
7.01	Administrative Assistant	120 s.f.
7.02	Reprographics/Work Area	20 s.f.
7.03	Future Office	120 s.f.
7.04	Lieutenant's Office	160 s.f.
7.05	Chief's Office	180 s.f.
7.06	Conference Room	320 s.f.
Subtotal:		920 s.f.
8 .	Staff Facilities	
8.01	Male Restroom/shower	210 s.f.
8.02	Male Locker Room	400 s.f.
8.03	Female Restroom/shower	160 s.f.
8.04	Female Locker Room	110 s.f.
8.05	Break Room	180 s.f.
8.06	Miscellaneous Male Restrooms	65 s.f.
8.07	Miscellaneous Female Restroom	65 s.f.
8.08	Fitness Center	500 s.f.
Subtotal:		1690 s.f.
9 .	Property and Evidence	
9.01	Evidence Laboratory	150 s.f.
9.02	Evidence Receiving	40 s.f.
9.03	Evidence Storage	400 s.f.
Subtotal:		590 s.f.

Westminster, Massachusetts
Space Needs Summary

Police Facility

New Programmed Area Name		Program Area
10 .	Prisoner Processing	
10.01	Sally Port (1-cruiser)	450 s.f.
10.02	Processing Area	250 s.f.
10.03	Holding Cell	50 s.f.
10.04	Intoxilyzer Area	12 s.f.
10.05	Custodial Closet	20 s.f.
10.06	Interview Room	100 s.f.
10.07	Detention Restroom/shower	50 s.f.
Subtotal:		932 s.f.
11 .	Detention Facilities	
11.01	Unisex Cells (x3)	400 s.f.
Subtotal:		400 s.f.
12 .	Vehicle Storage	
12.01	Vehicle Processing/Cruiser Maintenance	960 s.f.
12.02	Mechanic's Storage	40 s.f.
Subtotal:		1000 s.f.
13 .	Building Services	
13.01	Custodial Closets x 1	20 s.f.
13.02	Facility Maintenance Storage	80 s.f.
13.03	Boiler Room	200 s.f.
13.04	Sprinkler Room	50 s.f.
13.05	Air Handling Equipment Room	TBD s.f.
13.06	Electrical Room	80 s.f.
13.07	Emergency Electrical Room	60 s.f.
Subtotal:		490 s.f.
14 .	Vertical Circulation	
14.01	Stair x 2 x 2-floors	800 s.f.
14.02	Elevator x 2-floors	120 s.f.
14.03	Elevator Machine Room	60 s.f.
Subtotal:		980 s.f.

SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Police Facility

New Programmed Area Name

Program Area

Summation	
Facility net area:	11,944 s.f.
Net to gross adjustment (30%)	3,583 s.f.
Facility gross area total:	15,527 s.f.

Police Station

New Programmed Area Name

Program Area

1 . Public**1.01 Vestibule 80 s.f.****Security**

- free access from exterior
- emergency lockdown of inner doors
- ballistic protection in any wall interfacing staff areas

Electrical

- fire alarm annunciator panel

1.02 Lobby 450 s.f.**General**

- lobby design should reflect an environment of service to the community and visitors

Security

- free access with emergency lockdown provisions
- proximity access control to secure areas
- remote release of doors from dispatch desk
- ballistic protection in all walls interfacing staff areas
- audio/video monitoring

Furniture

- 6 waiting chairs

Equipment

- 1 public access computer terminals

Casework and built-ins

- 1 pamphlet/form rack for community information
- 2 display cases
- drops for cell phone donations, prescription drugs, used needles

Display

- 1 flat panel information monitor
- 2 display cases for historic artifacts
- wall space for display of historic artifacts
- graphic Town map for visitor assistance

Mechanical

- do not recirculate air into staff areas

Plumbing

- 1 drinking fountain (accessible)

1.03 Public Interview/Licensing Room 160 s.f.**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Public Interview/Licensing Room - continued**Casework and built-ins**

- 6 lineal foot licensing counter with cabinets below

Security

- proximity access control
- audio/video monitoring - to record activities including probate child exchange, internet purchasing, etc.
- ballistic protection in walls interfacing staff areas
- panic device

Furniture

- 1 table w/ six chairs

Equipment

- 1 computer on licensing counter
- 1 fingerprint station
- 1 wall telephone

1.04

Male Restroom

160 s.f.

Plumbing

- 1 water closet
- 1 urinal
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

1.05

Female Restroom

160 s.f.

Plumbing

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

Police Station

New Programmed Area Name

Program Area

2 . Dispatch Center**2.01 Dispatch Center 450 s.f.****Description**

- Dispatchers serve as the public reception point.

Acoustics

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on 20% of surface

Furniture

- 2 dispatch consoles with chairs
- 6 rolling two drawer lateral file cabinets (under counter)

Casework and Built-ins

- 10 l.f. open countertop
- 6 l.f. wall shelving over files (over counter)
- 4 l.f. upper cabinets (over counter)
- storage for "bug-out" bins

Equipment

- 1 multifunction device (on casework)
- 1 logging recorder
- 1 scanner (on casework)
- 1 leaps computer terminal at counter
- central vacuum system
- note: equipment per console as indicated below:

Console #1

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJIS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

Console #2

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJIS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Dispatch Center - continued**Display**

- 1 GPS vehicle location monitor
- 2 large flat screen perimeter/cell security monitors
- 1 flat screen television monitor
- 1 4'x6' marker board
- 1 4' x 6' tack board

Special Design Considerations

- raised access floor or directly over communications equipment room

Mechanical

- dedicated hvac system

Electrical

- all systems on UPS and emergency generator
- indirect lighting with multilevel control

Security

- proximity access control
- ballistic protection in walls interfacing public areas
- 2-hour fire separation
- ballistic window to lobby w/ natural voice transmission
- ballistic deal tray to lobby
- ballistic package passer

2.02 Dispatch Supervisors Office**120 s.f.****Furniture**

- 1 Small Dispatch console
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

Casework and Built-ins

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

Acoustics

- sound batt insul. in stud partitions

Security

- standard commercial lockset

Police Station

New Programmed Area Name

Program Area

Dispatch Supervisors Office - continued**Accessory Areas**

- coat closet

Equipment

- 1 wall telephone
- 1 radio speaker

2.03 Unisex Restroom 65 s.f.**Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

2.04 Communications Equipment Room/IT 200 s.f.**Casework and Built-ins**

- 6 lineal feet of open counter

Equipment

- 1 electronic radio equipment racks
- 1 network racks
- 1 security rack
- 1 911 racks
- 1 future rack
- 1 administrative computer
- 16 lineal feet of 8' high plywood backboard
- 1 telephone
- 1 logging recorder
- cable tray over racks

Electrical

- all systems on UPS and emergency generator
- 4 4" conduits from pole to communications equipment
- 4 4" conduit to antenna/microwave
- 2 future conduit to roof

Fire Protection

- pre-action fire suppression system

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Communications Equipment Room / IT - continued**Security**

- access from outside of dispatch
- proximity access control
- masonry wall construction or wire mesh in partitions
- 2 hour fire rating

2.05 Break Area 135 s.f.**Furniture**

- dining counter with two chairs

Casework and Built-ins

- 8 lineal feet of base and upper cabinets

Equipment

- 1 refrigerator
- 1 microwave
- 1 coffee machine
- 12 12" x 24" x 72" dispatcher lockers

Plumbing

- 1 kitchen sink

Display

- 1 flat panel wall monitor with cable tv

3 . Records**3.01 Records Archive 120 s.f.****Furniture**

- 72 lineal feet of high-density 5 high file storage
- 4 three drawer lateral file cabinets

Equipment

- 1 wall telephone

Security

- proximity access control

3.02 Central Photocopy 50 s.f.**Casework and Built-ins**

- 6 lf base cabinets w/ countertop

Equipment

- 1 multipurpose machine
- 1 wall telephone(s)

Security

- none

Police Station

New Programmed Area Name

Program Area

3.03	Office Supply Storage	10 s.f.
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Casework and Built-ins

30 lineal feet of shelving on standards

4 . Community/Training Room

4.01	Training Room	1360 s.f.
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Occupants	50
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General

- may be used as emergency operations center

Acoustics

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

Furniture

- 25 2'x6' tables with chairs
- 1 "smart" podium
- center aisle and two side aisles

Casework and Built-ins

12 lineal feet base cabinets

Equipment

- tel/data floor boxes for tables
- 1 wall telephone
- lighting control panel
- Internal and external jacks for cable access television
- telephone line drops from ceiling

Display

- 2 4' x 6' marker board
- 2 flat panel monitors
- 4 4'x4' tack boards

Security

- proximity access control
- interlock to switch control point
- ballistic protection in walls interfacing staff areas

4.02	Supply Storage	25 s.f.
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Furniture

- 2 24" x 36" x 72" metal shelving

Security

- standard commercial lockset

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

4.03 Furniture Storage 100 s.f.**General**

- additional space provided for cots, blankets, etc.

Furniture

- 2 24" x 36" x 72" metal shelving

Security

- standard commercial lockset

4.04 Kitchenette 20 s.f.**Casework and Built-ins**

- 6 lineal feet of base cabinets
- 6 lineal feet of upper cabinets

Equipment

- refrigerator
- coffee machine

Plumbing

- 1 sink

5 . Patrol Facilities**5.01 Sergeants 240 s.f.****Furniture**

- 4 "L" workstations with chair and visitor chair
- 3 three drawer file cabinets

Equipment

- 4 computer(s)
- 4 telephone(s)
- 1 multifunction print device

Display

- 1 4' x 4' marker board
- 1 4' x 4' tack board
- 1 GPS vehicle tracking monitor

Security

- standard commercial lockset

5.02 Patrol Conference 150 s.f.**Furniture**

- 1 conference table with six chairs

Equipment

- 1 computer connection at table

Police Station

New Programmed Area Name

Program Area

Patrol Conference - continued

- 1 wall telephone(s)
- radio speaker with volume control

Display

- 1 4' x 6' marker board

Security

- standard commercial lockset

5.03 Report Preparation/Squad Room 200 s.f.**General**

- locate adjacent to dispatch with window between
- locate adjacent to licensing with window

Furniture

- 3 "L" computer workstations
- 1 conference table with eight chairs
- 4 two drawer lateral files

Casework and Built-ins

- 4 lineal feet of three four form cubbies
- 12 lineal feet of open counter over files
- 30 staff mailboxes

Equipment

- 1 wall telephone(s)
- radio speaker with volume control

Display

- 1 4' x 4' marker board
- 1 4' x 4' tack board

5.04 Quartermaster Storage 80 s.f.**Furniture**

- 6 24" x 36" x 72" five tier metal shelving

Electrical

- 2 wall mtd. charging rack
- 1 recharge for radar units

Security

- standard commercial lockset

5.05 Weapons Cleaning 40 s.f.**Furniture**

- 1 six foot stainless steel workbench

Equipment

- ultrasonic cleaner

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Weapons Cleaning - continued

- weapons clearing trap
- radio speaker with volume control

Casework and Built-ins

- 6 lineal feet of base cabinet with epoxy resin countertop

Mechanical

- exhaust for cleaning fluid

Security

- none

5.06 Armory 40 s.f.

Furniture

- 6 lineal feet of long gun storage rack
- 2 24" x 36" x 72" six tier metal shelving

6 . Investigative

6.01 Detective's Office x 2 280 s.f.

Furniture

- 1 "L" workstation
- 2 two drawer lateral file cabinets
- 2 visitor chairs

Casework and Built-ins

- 8 lf open countertop (over files)
- 16 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

Security

- standard commercial lockset

6.02 Interview Room 100 s.f.

General

- locate between detective offices

Furniture

- 1 fixed table w/ four chairs

Electrical

- 1 light switch w/ "in use" light
- 1 panic device
- laptop cable

Police Station

New Programmed Area Name

Program Area

Interview Room - continued**Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on one wall

Security

- standard commercial lockset
- discreet CCTV audio and video surveillance

Special

- one-way glass to each office

6.03 Equipment Storage Room 12 s.f.**Furniture**

- 2 18" x 36" x 72" - 5 tier shelving

Security

- standard commercial lockset

7 . Department Administration**7.01 Administrative Assistant 120 s.f.****Furniture**

- 1 "U" workstation with chair
- 3 four drawer lateral file cabinets
- 1 typewriter stand

Equipment

- 1 computer
- 1 multifunction device
- 1 telephone
- 1 typewriter

Security

- standard commercial lockset

7.02 Reprographics/Work Area 20 s.f.**Casework and Built-ins**

- 6 lineal feet of base & upper cabinets

Equipment

- 1 multifunction printer
- 1 paper shredder
- 1 mail machine

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

7.03 Future Office 120 s.f.**Furniture**

- 1 "U" workstation
- 3 two drawer lateral file cabinets
- 2 visitor chairs

Casework and Built-ins

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

Security

- standard commercial lockset

Accessory Areas

- coat closet

7.04 Lieutenant's Office 160 s.f.**Furniture**

- 1 "U" workstations
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

Casework and Built-ins

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

Acoustics

- sound batt insul. in stud partitions

Security

- standard commercial lockset

Accessory Areas

- coat closet

7.05 Chief's Office 180 s.f.**General**

- provide direct access from exterior

Furniture

- 1 exec. desk w/ credenza
- 2 two drawer lateral files
- 2 visitor chairs

Westminster, Massachusetts

Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

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POLICE STATION PROGRAM

Chief's Office - continued**Casework and Built-ins**

- 6 lf open countertop (over files)
- 12 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

Acoustics

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

Security

- standard commercial lockset

Accessory Areas

- large closet

7.06 Conference Room 320 s.f.

Furniture

- 1 conference table w/ 16 chairs

Casework and Built-ins

- 6 lineal feet base cabinets

Equipment

- 1 telephone
- 1 laptop/projection provision at table
- 1 flat panel monitor

Acoustics

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

Security

- standard commercial lockset

8 . Staff Facilities

8.01 Male Restroom/shower 210 s.f.

Casework and Built-ins

- 6 lineal feet open countertop
- 6 lineal feet bench

Plumbing

- 1 hc toilet stall
- 2 urinals
- 2 sink
- 2 shower

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Male Restroom/shower - continued**Security**

- standard commercial push/pull

8.02 Male Locker Room 400 s.f.**Equipment**

- 24 2' x 2'-6" x 6' lockers
- 4 space for future lockers
- 1 4' wet gear rack
- 1 shoe shine station
- 1 weapons clearing trap

Security

- standard commercial push/pull

8.03 Female Restroom/shower 160 s.f.**Casework and Built-ins**

- 4 lineal feet open countertop
- 3 lineal feet bench

Plumbing

- 1 hc toilet stall
- 1 sink
- 1 shower

Security

- standard commercial push/pull

8.04 Female Locker Room 110 s.f.**Equipment**

- 6 2' x 2'-6" x 6' lockers
- 2 space for future lockers
- 1 2' wet gear rack
- 1 shoe shine station

Security

- standard commercial push/pull

8.05 Break Room 180 s.f.**Furniture**

- 1 table(s) with four chairs

Casework and Built-ins

- 8 lf base and upper cab.

Equipment

- 1 refrigerator
- 1 microwave (in casework)

Police Station

New Programmed Area Name

Program Area

Break Room - continued

- 1 coffee machine (provision)
- 1 residential oven w/ cooktop
- 1 dishwasher

Plumbing

- 1 double bowl sink (in casework)

8.06 Miscellaneous Male Restroom 65 s.f.**Casework and Built-ins**

- 4 lineal feet open countertop

Plumbing

- 1 hc toilet stall
- 1 urinals
- 1 sink (in counter)

Security

- standard commercial lockset

8.07 Miscellaneous Female Restroom 65 s.f.**Casework and Built-ins**

- 4 lineal feet open countertop

Plumbing

- 1 hc toilet stall
- 1 toilet stall
- 1 sink (in counter)

Security

- standard commercial lockset

8.08 Fitness Center 500 s.f.**Equipment**

- TBD

Special

- mirrors full height one wall

Acoustics

- sound batt insul. in stud partitions

Security

- standard commercial lockset

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

9 . Property and Evidence**9.01 Evidence Laboratory 150 s.f.****Furniture**

1 3' x 6' lab tables

Casework and Built-ins

24 lineal feet of base cabinets

12 lineal feet of upper cabinets

Equipment

1 counter top fuming tank

1 drying cabinet

2 pass thru locker units to evidence storage

Plumbing

1 double bowl sink

Security

- proximity access control

9.02 Evidence Receiving 40 s.f.**Furniture**

1 computer station w/printer

Casework and Built-ins

5 lineal feet of base cabinet for storage of packaging materials

1 lineal feet of 6 - tier form cubbies

Equipment

2 pass thru locker units - two large capacity units minimum

- one from hall
- one unit from prisoner processing

1 refrigerated pass thru (in units above)

Security

- proximity access control

9.03 Evidence Storage 400 s.f.**Furniture**

4 24" x 36" x 72" metal shelving

90 lineal feet of high - density 5 - tier evidence storage system

1 valuables safe

12 lineal feet of locked longarms racks

1 3' x 2' x 6' lockable handgun storage cabinet

1 3' x 2' x 6' vented lockable drug storage cabinet

Equipment

1 refrigerator

Security

Police Station

New Programmed Area Name

Program Area

Evidence Storage - continued

- proximity access control w/ "pin" keypad
- cctv monitoring

Weapons Storage**80 s.f.****Furniture**

12 lineal feet of long arms rack with shelving for handguns above

Mechanical

100% exhaust

Security

- proximity access control w/ "pin" keypad
- cctv monitoring

Bulk Found Property Room**300 s.f.****Security**

- overhead door or gate with proximity access control
- proximity access control

10 . Prisoner Processing**10.01 Sally Port (1-cruiser)****450 s.f.****General**

- 2 12' x 12' overhead doors for each bay
- 1 man door

Plumbing

- 1 eye wash/emergency shower
- 1 floor drain per bay

Security

- interlock all doors for one at a time operation
- cctv monitoring of interior and approach
- proximity access control in/out to Pris. Proc.
- proximity access control and remote release of OH doors from dispatch
- wire mesh partition to separate bay for vehicle processing

10.02 Processing Area**250 s.f.****Casework and Built-ins**

- 1 booking control workstation
- 1 booking bench with handcuff rings

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Processing Area - continued**Equipment**

- 1 automated fingerprint machine
- 1 telephone (@ workstation)
- 1 telephone with two handsets for language line services
- 1 computer (@ workstation)
- 6 property lockers - two large enough for guitars/backpacks
- 1 mug shot camera on mount (@ workstation)
- static gray back drop (to match registry of motor vehicles) w/ height markers

Security

- proximity access control
- cctv monitoring of all areas
- panic devices throughout
- automatic openers for doors from sallyport
- use least possible number of cameras to monitor booking
- prisoner release exit
- weapons locker outside all entrances

10.03 Holding Cell 50 s.f.**Casework and Built-ins**

- 8 lineal foot bench with cuff rail

Electrical

- 1 detention grade light fixtures

Security

- minimum 10' high ceilings
- detention grade sliding door hardware w/ cuff door
- audio/video surveillance
- visual observation from booking area
- tamper resistant hvac grills - 1/8" holes maximum

10.04 Intoxilyzer Area 12 s.f.**Casework and Built-ins**

- 6 lineal feet base cabinet w/ epoxy resin countertop
- 1 booking bench w/ cuff rail

Electrical

- 1 tel/data for intoxilyzer

10.05 Custodial Closet 20 s.f.**Plumbing**

- 1 mop sink

Police Station

New Programmed Area Name

Program Area

Custodial Closet - continued**Equipment**

- 1 mop rack

Security

- high security lockset

10.06 Interview Room 100 s.f.**General**

- use for bail and lawyer meetings, provide vestibule near prisoner release exit

Furniture

- 1 fixed table w/ two chairs

Electrical

- 1 light switch w/ "in use" light
- 1 panic device

Equipment

- 1 phone discreetly located

Acoustics

- partitions to extend to underside of structure
- Acoustic wall panels on one wall

Security

- high security lockset
- discreet CCTV audio and video surveillance w/ local control

10.07 Detention Restroom/shower 50 s.f.**Plumbing**

- 1 handicapped accessible detention combination fixture
- 1 shower stall

11 . Detention Facilities**11.01 Unisex Cells (x3) 400 s.f.****Casework and Built-ins**

- 1 32" x 72" x 18" concrete bunk

Equipment

- telephone with long phone line

Plumbing

- 1 detention combination fixture

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Police Station

New Programmed Area Name

Program Area

Unisex Cells - continued**Electrical**

- 1 detention grade light fixtures
- audio/video surveillance
- tamper resistant hvac grills - 1/8" holes maximum

12 . Vehicle Storage**12.01 Vehicle Processing/Cruiser Maintenance 960 s.f.****General**

- 2 bays
- 2 12' x 12' overhead door

Equipment

- 1 tool cabinet
- 1 6' work bench
- 1 12' tire rack
- 1 55 gallon oil storage tank
- 1 tire balancer
- 1 four post lift

12.02 Mechanic's Storage 40 s.f.**Furniture**

- 3 24" x 36" x 72" five tier shelving

Security

- standard commercial lockset

13 . Building Services**13.01 Custodial Closets x 1 20 s.f.****Plumbing**

- 1 mop sink

Equipment

- 1 mop rack

Security

- standard commercial lockset

13.02 Facility Maintenance Storage 80 s.f.**Furniture**

- 2 18" x 36" x 72"- five tier metal shelving

Security

- standard commercial lockset

Police Station

New Programmed Area Name		Program Area
13.03	Boiler Room	200 s.f.
	<ul style="list-style-type: none"> confirm size with system selection 	
	Security	
	<ul style="list-style-type: none"> standard commercial lockset 	
13.04	Sprinkler Room	50 s.f.
	<ul style="list-style-type: none"> confirm size with system selection 	
	Security	
	<ul style="list-style-type: none"> standard commercial lockset 	
13.05	Air Handling Equipment Room	TBD s.f.
	<ul style="list-style-type: none"> Use attic or roof top 	
13.06	Electrical Room	80 s.f.
	<ul style="list-style-type: none"> confirm size with system selection 	
	Security	
	<ul style="list-style-type: none"> standard commercial lockset 	
13.07	Emergency Electrical Room	60 s.f.
	<ul style="list-style-type: none"> confirm size with system selection 	
	Security	
	<ul style="list-style-type: none"> standard commercial lockset 2-hour fire rated construction 	
14 .	Vertical Circulation	
14.01	Stair x 2 x 2-floors	800 s.f.
	<ul style="list-style-type: none"> assumed floor count 	
14.02	Elevator x 2-floors	120 s.f.
	<ul style="list-style-type: none"> hc sized cab 	
14.03	Elevator Machine Room	60 s.f.
	<ul style="list-style-type: none"> per elevator requirements 	

SITE REQUIREMENTS

Westminster, Massachusetts
Site Needs Assessment

Police Facility

New Programmed Area Name		Quantity	Programmed Area	
S.1	Building Area			
	Building Footprint	2 story	9,704	s.f.
	Future Building Growth (25% of programmed area)		2426	s.f.
	Subtotal:		13,560	s.f.
S.2	Parking Area			
	Visitor Parking	11 spaces	1,815	s.f.
	Visitor Handicapped Parking	1 spaces	270	s.f.
	Staff Parking	30 spaces	4,950	s.f.
	Staff Handicapped Parking	1 spaces	270	s.f.
	Cruiser Parking	12 spaces	1,980	s.f.
	Oversize Fleet Parking	2 spaces	650	s.f.
	Travel Lane Allowance		7,900	s.f.
	Subtotal:		17,835	s.f.
S.3	Site Utilities			
	Electrical Transformers		100	s.f.
	Emergency Generator		250	s.f.
	Antenna Tower		500	s.f.
	AC Equipment		400	s.f.
	Dumpsters		240	s.f.
	Storm Water Retention		3,200	s.f.
	Subtotal:		4,690	s.f.
S.4	Site Amenities			
	Impound Lot	6 spaces	1,200	s.f.
	Subtotal:		1,200	s.f.
S.5	Setbacks and Green Space			
	Green space		14,900	s.f.
	Setbacks		16,000	s.f.
	Subtotal:		30,900	s.f.
	Summation			
	Minimum useable site area		68,185	s.f.
	Minimum useable site acreage		1.57	ac.



FIRE STATION PROGRAM

Fire Facility

New Programmed Area Name		Program Area
1 .	Public	Initial
1.01	Vestibule	80 s.f.
1.02	Lobby With Display Area	550 s.f.
1.03	Male Restroom	160 s.f.
1.04	Female Restroom	160 s.f.
Subtotal:		950 s.f.
2 .	Administration	
2.01	Meeting/Training/Library/Kitchenette	1400 s.f.
2.02	Meeting Room Storage	144 s.f.
2.03	Conference Room	200 s.f.
2.04	Chief's Office	180 s.f.
2.05	Captains Office	160 s.f.
2.06	Shared Bunk	144 s.f.
2.07	Department Administrators Office	120 s.f.
2.08	Fire Prevention / Shared Office With EMS	300 s.f.
2.09	Workspace	100 s.f.
2.10	Records Storage	100 s.f.
2.11	Network/IT	200 s.f.
2.12	Male Restroom	60 s.f.
2.13	Female Restroom	60 s.f.
Subtotal:		3,168 s.f.
3 .	Firefighters/EMTs	
3.01	Firefighter's/EMTs Day Room	300 s.f.
3.02	Kitchen	250 s.f.
3.03	Dining	200 s.f.
3.04	Exercise	400 s.f.
3.05	Bunkers/Bed	480 s.f.
3.06	Baths/Shower	180 s.f.
3.07	Lockers	250 s.f.
3.08	Housekeeping Storage	44 s.f.
3.09	Private Lobby	48 s.f.
Subtotal:		2,152 s.f.

SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Fire Facility

New Programmed Area Name		Program Area
4 .	Apparatus/Training	
4.01	Apparatus Bays (12) - 6 double-deep	8320 s.f.
4.02	Training Tower (Second egress stair)	600 s.f.
	Subtotal:	8,920 s.f.
5 .	Firematic Support	
5.01	Mezzanine	1280 s.f.
5.02	Storage Room #01	100 s.f.
5.03	Work Room	120 s.f.
5.04	Firematic DeCon/Laundry	168 s.f.
5.05	EMS Storage	64 s.f.
5.06	Air Room (SCBA)	200 s.f.
5.07	Turnout Gear	300 s.f.
5.08	Radio/Communications Room	144 s.f.
5.09	Unisex Restroom	60 s.f.
	Subtotal:	2,436 s.f.
6 .	Support	
6.01	Custodial Closets x 2	96 s.f.
6.02	Mechanical Room	320 s.f.
6.03	Sprinkler Room	TBD s.f.
6.04	Air Handling Equipment Room	TBD s.f.
6.05	Electrical Room	TBD s.f.
6.06	Emergency Electrical Room	TBD s.f.
	Subtotal:	416 s.f.
7 .	Verticle Circulation	
7.01	Stair x 2 x 2-floors	400 s.f.
7.02	Elevator x 2-floors	120 s.f.
7.03	Elevator Machine Room	60 s.f.
	Subtotal:	580 s.f.
	Summation	
	Facility net area:	18,622 s.f.
	Net to gross adjustment (20%)	3,724 s.f.
	Facility gross area total:	22,346 s.f.

Fire Station

New Programmed Area Name

Program Area

1 . Public**1.01 Vestibule 80 s.f.****Security**

- free access from exterior
- emergency lockdown of inner doors

Electrical

- fire alarm annunciator panel

1.02 Lobby With Display Area 550 s.f.**General**

- lobby design should reflect an environment of service to the community and visitors

Security

- free access with emergency lockdown provisions
- proximity access control to secure areas
- audio/video monitoring

Furniture

- 6 waiting chairs

Equipment

- 1 public access computer terminals

Casework and built-ins

- 1 pamphlet/form rack for community information
- 2 display cases

Display

- Display for antique pumper - 100 s.f.
- 1 flat panel information monitor
- 2 display cases for historic artifacts
- Plaque & Artwork
- graphic Town map for visitor assistance

Mechanical

- do not recirculate air into staff areas

Plumbing

- 1 drinking fountain (accessible)

1.03 Male Restroom 160 s.f.**Plumbing**

- 1 water closet
- 1 urinal
- 1 sink
- 1 floor drain with trap primer

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

Male Restroom - continued**Equipment**

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

1.04 Female Restroom 160 s.f.**Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

2 . Administration**2.01 Meeting/Training/Library/Kitchenette 1,400 s.f.****Description**

- Seating for 75 at tables and chairs
- AV, TV, Screen, Lectern, etc.: Yes, all and Smart board, (2) ceiling projectors, Wi-Fi.
- Kitchenette equipment: small refrigerator, counter, sink, coffee with water line, base
- Computer/communications: Multi-purpose, secondary E.O.C. podium-based media
- Library: Seating for 3-4 at computer study carousels, book and computer supplies
- Adjacencies/comments: Black out shades, sound system, 50/50 split room divider, chair rail all around.

Fire Station

New Programmed Area Name	Program Area
2.02 Meeting Room Storage	144 s.f.
<ul style="list-style-type: none"> • Use: Store tables and chairs on racks • Adjacencies/comments: Chair rail all round, wall cabinets on one wall, double doors, 	
2.03 Conference Room	200 s.f.
Description <ul style="list-style-type: none"> • Seating for 8-10 • AV, TV, Screen, Lectern, etc.: All and whiteboard • Computer/communications: Yes, Wi-Fi and cable, ceiling projector. 	
2.04 Chief's Office	180 s.f.
Description Chief's Office	
Furnishings Desk, credenza, files, table for 6, bookshelves, 4 plex at desk.	
Comments/Adjacencies Secure, TV and presenting room off office Adjacent to shared bunk	
2.05 Captains Office	160 s.f.
Description Captain's Office	
Furnishings Desk, credenza, files, table for 6, bookshelves, 4 plex at desk	
Comments/Adjacencies Adjacent to shared bunk	
2.06 Shared Bunk	144 s.f.
Description Shared bunk for Chief & Captain	
Furnishings 2 Beds 2 Wardrobes	
Comments/Adjacencies Ramp up lighting at bunk.	

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

2.07 Department Administrators Office 120 s.f.**Description**

Department Administrator's Office

Furnishings

Desk, cabinets, copier, printer, file cabinet.

Comments/Adjacencies

Chief and Captain's offices need to be adjacent to front entry.

2.08 Fire Prevention / Shared Office With EMS 300 s.f.**Description**Fire Prevention, Shared Office
Seating for 2**Furnishings**

3 desks, storage drawers with flat surface for Plan reviews.

Comments/AdjacenciesOffice needs to be adjacent to entry, Public access
Secure**2.09 Workspace 100 s.f.****Description**

Base and wall cabinets, solid surface counter, mailing

Comments/AdjacenciesWidened corridor to house copier, large format
printer/plotter, office supplies.**2.10 Records Storage 100 s.f.****Description**

File cabinets, lateral files, table and chairs

Fire Rating

2 hours

Comments/Adjacencies

Secure

2.11 Network/IT 200 s.f.**Description**4 racks with clearance all round, marked for Verizon and 911
system rack, server cabinet, desk and chair, task lighting, phone
backboard, security cameras, Wi-Fi, static dissipating floor.

Fire Station

New Programmed Area Name

Program Area

Network/IT - continued**HVAC**

Dedicated split system, fully alarmed for heat, humidity, static electricity.

Comments/Adjacencies

- Secure
 - Work space with 10 lineal feet of counter top with storage
 - Adjacencies/comments: Manual sprinkler, combined with Communication System.
- Racks grounded, static dissipation floor tile, 1 UPS for all racks.

2.12 Male Restroom 60 s.f.**Plumbing**

- 1 water closet
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks

2.13 Female Restroom 60 s.f.**Plumbing**

- 1 water closet
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

3 . Firefighter's/EMTs**3.01 Firefighter's/EMTs Day Room 300 s.f.****Description**

- Recliners and TV
- Number of Seats/Type: 4 - 6

Furnishings

TV, end tables.

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

Firefighter's/EMTs Day Room - continued**Comments/Adjacencies**

Kitchen and bunk suite, clear path to Bays, easily cleaned, no carpet, no fabric on seating; utilized by Mutual Aid.

3.02 Kitchen 250 s.f.**Description**

Full Commercial equipment and appliances.

Equipment

Ansul hood, stove, stainless steel, 3 – sinks, 1 for food prep, all potential with garbage disposal, 1 hand washing sink, microwave, under counter dish washer, ice machine.

Refrigerators: 2 with freezers attached.

Pantry/Food Storage: 4 locked stainless steel shelves; one for each shift

Finishes/Materials

All tile floor and walls, moisture resistant ceiling, Quartz or stainless steel countertops, high-density cabinets.

Comments/Adjacencies

Floor drains, 1/4" piping for water to refrigerator and coffee maker, 2'-6" deep counters, comfort height, exterior door to patio.

3.03 Dining 200 s.f.**Description**

Open to kitchen

Equipment

Table for 12, TV mounted on wall.

Comments/Adjacencies

Kitchen, Day Room and Bays.

3.04 Exercise 400 s.f.**Equipment**

- Weights: Yes,
- Cardio: Treadmill and Elliptical
- Universal: Yes
- Other: TV, blocking in walls, mirrors on one wall, hand rail.

Comments/Adjacencies

Recycled rubber floor, window to corridor, intercom, high TV mount, high ceiling, dedicated HVAC (good ventilation).

Fire Station

New Programmed Area Name

Program Area

3.05 Bunkers/Bed 480 s.f.**Bunk Type**

- (4) singles - can be converted to doubles in future
- Separate suites, quiet and private

Furnishings

Bed, wardrobes for 4, small desk

Comments/Adjacencies

Overhead fan, individual climate controls, lighting comes up with alarms, tones in bunk. No Zetron system, NFPA 1581 3.3.1 "Sleeping Areas", direct access to Bays.

3.06 Baths/Showers 180 s.f.**Description**

Individual, 2 are required, unisex, sink, shower, water closet.

Location

Within bunk suite

Comments/Adjacencies

All tile floors and walls, floor drain, solid surface countertop, lever type handles for sink.

3.07 Lockers 250 s.f.**Description**

Separate rooms for call responders.

Location

Bunker suite

Lockers

40 male, 15 Female : 12" wide full height, sloped top.

Comments/Adjacencies

Male and female to share room, tile floor and all exposed walls, phenolic benches.

3.08 Housekeeping Storage 44 s.f.**Description**

Washer, dryer, folding table.

Comments/Adjacencies

Shelving, mop and broom holder, dry goods, cleaning supplies.

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

3.09	Private Lobby	48 s.f.
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Description

Access directly to Administration

4 .	Apparatus/Training
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4.01	Apparatus Bays (12) - 6 double-deep	8,320 s.f.
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Vehicles - total of 9

- E1 Type: Pump Length: 34' Weight: 47,000 Capacity: 4
- E2 Type: Pump Length: 40' Weight: 62,000 Capacity: 6
- E3 Type: Pump Length: 32' Weight: 53,000 Capacity: 4
- T1 Type: Ladder Length: 42' Weight: 81,000 Capacity: 6
- A1 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3
- A2 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3
- Car 3 Type: Truck Length: 18' Weight: 8,000 Capacity: 2
- Boat Type: Nautic Length: 10'
- UTV Type: Gravely Length: 8

Type of Bays

- Drive-thru - respond in both directions
- All double deep, back to back

Overhead Doors

- 2 rows of glass.
- Front: Number: 6 Width: 14 Height: 14
- Rear: Number: 6 Width: 14 Height: 14

Foam

Type: 20-30 gallons/5 gallon pails.

Trench Drains

centered under all apparatus – to Oil/Water separator.

Hose Reels

Hannay wall mounted with 50' x 3/4" hose, 6 total; 3 front and 3 rear. One each front and rear with hot and cold water.

Fume Exhaust

Plymovent – hydraulic, all Bays, 2 fans; one for each group of six apparatus.

Truck Fills

Overhead: One, center location.

Outdoor hydrant: Yes Location: Adjacent to Apron.

Overhead Fans

BAF or eq.

Electrical Drops

11 Bays – 20 AMP/Drop.

Air Drops (2)

In-Line Air Dryer, no combination plugs.

Fire Station

New Programmed Area Name	Program Area
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Apparatus Bays (12) - 6 double-deep - continued

Compressed Air

2 in front and 2 in rear on overhead reels.

Sinks

deep bowl.

Finishes

Epoxy flooring, non-slip, multi-color with Back0in safety stripe

Ice Machine

For ambulances

Comments/Adjacencies

Introduce daylighting, hand towel dispenser at each overhead door pilaster.

4.02 Training Tower (Second egress stair) 600 s.f.

Description

Design as integral part of Bays and Connected to Mezzanine.

Features

- Rappelling: Yes
- Stairs: Yes
- Roof Access: Yes, reinforce parapet and roof surface at training locations.
- Roof training: Yes
- Windows: Yes, several levels and sizes.
 - a. Need a window at first floor level.
Need window at the height of a 2-story residential building for the
 - b. following evolutions: Window entry.
- Hose: Yes
- Confined Space: Yes
- Sprinkler: Yes Dry: Yes
 - a. Use water service as training prop.
- Blackout: Yes
- Hose Drying: Yes Winch: Yes, 2 Ton.
- Other Specialized Training: Modular setup, overhead grid, rappelling points and tie-off, look at materials for walls and bail out points.

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

5 . Firematic Support**5.01 Mezzanine 1280 s.f.****Description**

Large as possible, attached to tower, share stairs.

Size

Full depth of Bays, training, possible storage, no mechanical uses.

5.02 Storage Room #01 100 s.f.**Description**

Hose, fittings and nozzles

Location

Off the bays

Comments/Adjacencies

Racks, shelves and wall cabinets

5.03 Work Room 120 s.f.**Equipment**

- Mechanic: Town does large repairs outside of Station.
- Service: Pump service
- Workbench: Yes
- Tool storage: Yes, hand tools
- Power tools: Grinder, drill press
- Air: Yes, for tools.
- Water: Yes, deep bowl, stainless steel sink.

Comments/Adjacencies

Fire department needs stainless steel wall cabinets and shelves.

5.04 Firematic DeCon/Laundry 168 s.f.**Equipment**

- Sink: Yes, stainless steel with sideboard.
- Extractor: Will need to purchase. Brand: TBA
- Gear dryer: Will need to purchase Dehydrator type.
- Clothes washer: Yes, located on clean side of Station.
- Clothes Dryer: Yes located on clean side of Station.
- Drench/Eye Wash: Yes, cartridge type, proximity to work room.
- Red Bag and Sharps: Yes
- Holding Tank: No, clean at scene or hospital.
- Backboard cleaning: On occasion.

Fire Station

New Programmed Area Name

Program Area

Firematic DeCon/Laundry - continued

- Drench Shower: Yes
- Blood borne pathogens: Minimal, clean at hospital.

Comments/Adjacencies

DeCon done at hospital, NFPA 1581. Direct access to Hot Zone and transition area, exterior door, floor drains, hose bib, concrete pad for extractor.

5.05 EMS Storage 64 s.f.**Description**

Restock ambulance, EMS supplies (blankets, bandages, etc.).

Security

- Access control
- camera monitored

Comments/Adjacencies

Stainless steel shelving all around room. Locked cabinet for meds, duplex outlet for future refrigerator. Locate Adjacent to Ambulance Bays.

5.06 Air Room (SCBA) 200 s.f.**Equipment**

Sink: Yes, 4 compartment, stainless steel, NFPA 1581

Counters: 2 sideboards, mask hooks above sink

Air compressor: Yes, 3 bottles, 4,500 and 5,500 lbs.

7.4.1 Remote fill station: Yes, from compressor to Air Room

SCBA storage: All bottles Rack: 4 on a rack.

Repair: small, masks.

O2 Storage

Number of Cylinders: 16 – D and 1 – M. Look at system to hold oxygen tanks (not chains on wall).

Comments/Adjacencies

Compressor in separate room. Will need air supply, sound protection and room exhaust.

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

5.07 Turnout Gear 300 s.f.**Description**

40 required, largest locker possible, secured to walls.

Equipment

Racks: Gear Grid or Ready Rack.

Comments/Adjacencies

Over Head fans, HVAC and constant exhaust, HEPA Filter, wall mounted, benches, LED lighting, floor drains, 4 – plex outlets around room at top of lockers

5.08 Radio/Communications Room 144 s.f.**Location**

Watchroom - Adjacent to Bays with direct vision

Seating requirements

3

Door operation

Control of all 12 doors, numbered

Equipment

Traffic control: No, Opticom on trucks, depends on location of Station.

Internal paging system: Yes, and base radio.

Siren: Yes, part of ISO Rating.

Computer equipment: Yes, for each station

Closed Circuit TV, Phones, Weather Station: Yes

File cabinets: Yes

Wall mounted items: Maps

Rechargeable items (plectrons): Portable radio batteries

911 tie in: No

Console:

- Phones, switches, door controls, siren.

Lockable storage: No

Comments/Adjacencies

Secondary Communication Center for Dispatch, adhere to HIPPA requirements for report writing.

5.09 Unisex Restroom 60 s.f.**Plumbing**

Water closet, sink, urinal, hose bib for cleaning, floor drain

Comments/Adjacencies

All hard washable surfaces, moisture resistant ceiling.

Fire Station

New Programmed Area Name	Program Area
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6 . Support**6.01 Custodial Closets x 2 96 s.f.****Plumbing**

- 1 mop sink

Equipment

- 1 mop rack

Security

- standard commercial lockset

6.02 Mechanical Room 320 s.f.

- confirm size with system selection

Security

- standard commercial lockset

6.03 Sprinkler Room TBD s.f.

- confirm size with system selection

Security

- standard commercial lockset

6.04 Air Handling Equipment Room TBD s.f.

- Use attic or roof top

6.05 Electrical Room TBD s.f.

- confirm size with system selection

Security

- standard commercial lockset

6.06 Emergency Electrical Room TBD s.f.

- confirm size with system selection

Security

- standard commercial lockset
- 2-hour fire rated construction

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Fire Station

New Programmed Area Name

Program Area

7 . Vertical Circulation

7.01	Stair x 2 x 2-floors	400 s.f.
	<ul style="list-style-type: none"> • Training tower will be utilized for one of the stairs • assumed floor count 	
7.02	Elevator x 2-floors	120 s.f.
	<ul style="list-style-type: none"> • hc sized cab 	
7.03	Elevator Machine Room	60 s.f.
	<ul style="list-style-type: none"> • per elevator requirements 	

Fire Facility

New Programmed Area Name		Quantity	Programmed Area	
S.1	Building Area			
	Building Footprint	2 story	13,966	s.f.
	Future Building Growth (25% of programmed area)		3492	s.f.
	Subtotal:		17,458	s.f.
S.2	Parking Area			
	Visitor Parking	4 spaces	660	s.f.
	Visitor Handicapped Parking	1 spaces	270	s.f.
	Staff On call Parking	30 spaces	4,950	s.f.
	Staff Handicapped Parking	1 spaces	270	s.f.
	Staff Parking	4 spaces	660	s.f.
	Travel Lane Allowance		10,000	s.f.
	Subtotal:		16,810	s.f.
S.3	Site Utilities			
	Electrical Transformers		100	s.f.
	Emergency Generator		300	s.f.
	Antenna Tower		500	s.f.
	AC Equipment		400	s.f.
	Dumpsters		240	s.f.
	Storm Water Retention		3,500	s.f.
	Subtotal:		5,040	s.f.
S.4	Site Amenities			
	Patio / Grill area		1,200	s.f.
	Training Props	6 spaces	1,200	s.f.
	Subtotal:		2,400	s.f.
S.5	Setbacks and Green Space			
	Green space		12,700	s.f.
	Setbacks		15,100	s.f.
	Subtotal:		27,800	s.f.
	Summation			
	Minimum useable site area		60,779	s.f.
	Minimum useable site acreage		1.4	ac.

COMBINED PUBLIC SAFETY PROGRAM

Public Safety

New Programmed Area Name		Program Area
1 .	Shared Facilities	
1.01	Vestibule	80 s.f.
1.02	Lobby With Display Area	550 s.f.
1.03	Male Restroom	160 s.f.
1.04	Female Restroom	160 s.f.
1.05	Training Room	1400 s.f.
1.06	Kitchenette/Coffee	20 s.f.
1.07	Supply Storage	25 s.f.
1.08	Furniture Storage	100 s.f.
1.09	Fitness Center	500 s.f.
Subtotal:		2995 s.f.
	Police Facilities	
2 .	Public	
2.01	Public Interview/Licensing Room	160 s.f.
Subtotal:		160 s.f.
3 .	Dispatch	
3.01	Dispatch Center	450 s.f.
3.02	Dispatch Supervisors Office	120 s.f.
3.03	Unisex Restroom	65 s.f.
3.04	Communications Equipment Room/IT	200 s.f.
3.05	Break Area	135 s.f.
Subtotal:		970 s.f.

SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Public Safety

New Programmed Area Name		Program Area
4 .	Records	
4.01	Records Archive	120 s.f.
4.02	Central Photocopy	50 s.f.
4.03	Office Supply Storage	10 s.f.
Subtotal:		180 s.f.
5 .	Patrol Facilities	
5.01	Sergeants	240 s.f.
5.02	Patrol Conference	150 s.f.
5.03	Report Preparation/Squad Room	200 s.f.
5.04	Quartermaster Storage	80 s.f.
5.05	Weapons Cleaning	40 s.f.
5.06	Armory	40 s.f.
Subtotal:		750 s.f.
6 .	Investigative	
6.01	Detective's Office x 2	280 s.f.
6.02	Interview Room	100 s.f.
6.03	Equipment Storage Room	12 s.f.
Subtotal:		392 s.f.
7 .	Department Administration	
7.01	Administrative Assistant	120 s.f.
7.02	Reprographics/Work Area	20 s.f.
7.03	Future Office	120 s.f.
7.04	Lieutenant's Office	160 s.f.
7.05	Chief's Office	180 s.f.
7.06	Conference Room	320 s.f.
Subtotal:		920 s.f.

Public Safety

New Programmed Area Name	Program Area
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8 . Staff Facilities

8.01	Male Restroom/shower	210 s.f.
8.02	Male Locker Room	400 s.f.
8.03	Female Restroom/shower	160 s.f.
8.04	Female Locker Room	110 s.f.
8.05	Break Room	180 s.f.
8.06	Miscellaneous Male Restrooms	65 s.f.
8.07	Miscellaneous Female Restroom	65 s.f.

Subtotal: 1190 s.f.

9 . Property and Evidence

9.01	Evidence Laboratory	150 s.f.
9.02	Evidence Receiving	40 s.f.
9.03	Evidence Storage	400 s.f.

Subtotal: 590 s.f.

10 . Prisoner Processing

10.01	Sally Port (1-cruiser)	450 s.f.
10.02	Processing Area	250 s.f.
10.03	Holding Cell	50 s.f.
10.04	Intoxilyzer Area	12 s.f.
10.05	Custodial Closet	20 s.f.
10.06	Interview Room	100 s.f.
10.07	Detention Restroom/shower	50 s.f.

Subtotal: 932 s.f.

11 . Detention Facilities

11.01	Unisex Cells (x3)	400 s.f.
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Subtotal: 400 s.f.

SPACE NEEDS ASSESSMENT

Westminster, Massachusetts

Space Needs Summary

Public Safety

New Programmed Area Name		Program Area
12 .	Vehicle Storage	
	12.01 Vehicle Processing/Cruiser Maintenance	960 s.f.
	12.02 Mechanic's Storage	40 s.f.
	Subtotal:	1,000 s.f.
	Fire Facilities	
13 .	Administration	
	13.01 Conference Room	200 s.f.
	13.02 Chief's Office	180 s.f.
	13.03 Captains Office	160 s.f.
	13.04 Shared Bunk	144 s.f.
	13.05 Department Administrators Office	120 s.f.
	13.06 Fire Prevention / Shared Office With EMS	300 s.f.
	13.07 Workspace	100 s.f.
	13.08 Records Storage	100 s.f.
	13.09 Network/IT	200 s.f.
	Subtotal:	1,504 s.f.
14 .	Firefighter's / EMTs	
	14.01 Firefighter's/EMTs Day Room	300 s.f.
	14.02 Kitchen	250 s.f.
	14.03 Dining	200 s.f.
	14.04 Bunkers/Bed	480 s.f.
	14.05 Baths/Showers	180 s.f.
	14.06 Lockers	250 s.f.
	14.07 Housekeeping Storage	44 s.f.
	14.08 Private Lobby	48 s.f.
	Subtotal:	1,752 s.f.
15 .	Apparatus/Training	
	15.01 Apparatus Bays (12) - 6 double-deep	8320 s.f.
	15.02 Training Tower (Possible to be third stair)	600 s.f.
	Subtotal:	8,920 s.f.

Public Safety

New Programmed Area Name	Program Area
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16 . Firematic Support

16.01	Mezzanine	1280	s.f.
16.02	Storage Room #01	100	s.f.
16.03	Work Room	120	s.f.
16.04	Firematic DeCon/Laundry	168	s.f.
16.05	EMS Storage	64	s.f.
16.06	Air Room (SCBA)	200	s.f.
16.07	Turnout Gear	300	s.f.
16.08	Radio/Communications Room	144	s.f.
16.09	Unisex Restroom	60	s.f.

Subtotal: 2,436 s.f.

17 . Support

17.01	Custodial Closets x 2	96	s.f.
17.02	Mechanical Room	320	s.f.
17.03	Sprinkler Room	TBD	s.f.
17.04	Air Handling Equipment Room	TBD	s.f.
17.05	Electrical Room	TBD	s.f.
17.06	Emergency Electrical Room	TBD	s.f.

Subtotal: 416 s.f.

18 . Verticle Circulation

18.01	Stair x 3 x 2-floors	1200	s.f.
18.02	Elevator x 2-floors	120	s.f.
18.03	Elevator Machine Room	60	s.f.

Subtotal: 1380 s.f.

Summation

Facility net area: 26,887 s.f.

Net to gross adjustment (20%) 5,377 s.f.

Facility gross area total: 32,264 s.f.

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

1 . Shared Facilities

1.01 Vestibule 80 s.f.

Security

- free access from exterior
- emergency lockdown of inner doors
- ballistic protection in any wall interfacing staff areas

Electrical

- fire alarm annunciator panel

1.02 Lobby With Display Area 550 s.f.

General

- lobby design should reflect an environment of service to the

Security

- free access with emergency lockdown provisions
- proximity access control to secure areas
- remote release of doors from dispatch desk
- ballistic protection in all walls interfacing staff areas
- audio/video monitoring

Furniture

- 6 waiting chairs

Equipment

- 1 public access computer terminals

Casework and built-ins

- 1 pamphlet/form rack for community information
- 2 display cases
- drops for cell phone donations, prescription drugs, used needles

Display

- display area for antique pumper - 100 s.f.
- 1 flat panel information monitor
- 2 display cases for historic artifacts
- wall space for display of historic artifacts
- graphic Town map for visitor assistance

Public Safety

New Programmed Area Name

Program Area

Lobby - continued

- do not recirculate air into staff areas

Plumbing

- 1 drinking fountain (accessible)

1.03 Male Restroom**160 s.f.****Plumbing**

- 1 water closet
- 1 urinal
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

1.04 Female Restroom**160 s.f.****Plumbing**

- 2 water closet
- 1 sink
- 1 floor drain with trap primer

Equipment

- toilet accessories as required
- mirrors at sinks
- changing station

Security

- ballistic protection in walls interfacing staff areas
- avoid concealed areas within room or above ceiling

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

1.05	Training Room	1400 s.f.
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Occupants	50
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General

- may be used as emergency operations center

Acoustics

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

Furniture

- 25 2'x6' tables with chairs
- 1 "smart" podium
- center aisle and two side aisles

Casework and Built-ins

- 12 lineal feet base cabinets

Equipment

- tel/data floor boxes for tables
- 1 wall telephone
- lighting control panel
- Internal and external jacks for cable access television
- telephone line drops from ceiling

Display

- 2 4' x 6' marker board
- 2 flat panel monitors
- 4 4'x4' tack boards

Security

- proximity access control
- interlock to switch control point
- ballistic protection in walls interfacing staff areas

Public Safety

New Programmed Area Name

Program Area

1.06 Kitchenette/Coffee 20 s.f.**Casework and Built-ins**

- 6 lineal feet base and upper cabinets

Equipment

- 1 refrigerator
- 1 microwave
- 1 coffee machine (provision)

Plumbing

- 1 double bowl sink

1.07 Supply Storage 25 s.f.**Furniture**

- 2 24" x 36" x 72" metal shelving

Security

- standard commercial lockset

1.08 Furniture Storage 100 s.f.**General**

- additional space provided for cots, blankets, etc.

Furniture

- 2 24" x 36" x 72" metal shelving

Security

- standard commercial lockset

1.09 Fitness Center 500 s.f.**Equipment**

- TBD

ROOM SUMMARY

Westminster, Massachusetts

Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Fitness Center - continued**Special**

- mirrors full height one wall

Acoustics

- sound batt insul. in stud partitions

Security

- standard commercial lockset

Police Facility**2 . Public****2.01 Public Interview/Licensing Room****160 s.f.****Acoustics**

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

Casework and built-ins

- 6 lineal foot licensing counter with cabinets below

Security

- proximity access control
- audio/video monitoring - to record activities including probate child
- ballistic protection in walls interfacing staff areas
- panic device

Furniture

- 1 table w/ six chairs

Equipment

- 1 computer on licensing counter
- 1 fingerprint station
- 1 wall telephone

Public Safety

New Programmed Area Name

Program Area

3 . Dispatch**3.01 Dispatch Center 450 s.f.****Description**

- Dispatchers serve as the public reception point.

Acoustics

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on 20% of surface

Furniture

- 2 dispatch consoles with chairs
- 6 rolling two drawer lateral file cabinets (under counter)

Casework and Built-ins

- 10 l.f. open countertop
- 6 l.f. wall shelving over files (over counter)
- 4 l.f. upper cabinets (over counter)
- storage for "bug-out" bins

Equipment

- 1 multifunction device (on casework)
- 1 logging recorder
- 1 scanner (on casework)
- 1 leaps computer terminal at counter
- central vacuum system
- note: equipment per console as indicated below:

Console #1

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJIS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Dispatch Center - continued**Console #2**

- 2 911 monitor(s)
- 1 radio monitor
- 1 CJIS monitor
- 1 security monitor
- 1 TDD, text to 911, reverse 911
- 1 radio PD, FD and DPW
- 1 intercom
- 1 telephone

Display

- 1 GPS vehicle location monitor
- 2 large flat screen perimeter/cell security monitors
- 1 flat screen television monitor
- 1 4'x6' marker board
- 1 4' x 6' tack board

Special Design Considerations

- raised access floor or directly over communications equipment

Mechanical

- dedicated hvac system

Electrical

- all systems on UPS and emergency generator
- indirect lighting with multilevel control
- proximity access control
- ballistic protection in walls interfacing public areas
- 2-hour fire separation
- ballistic window to lobby w/ natural voice transmission
- ballistic deal tray to lobby
- ballistic package passer

3.02 Dispatch Supervisors Office**120 s.f.****Furniture**

- 1 Small Dispatch console
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

Casework and Built-ins

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

Public Safety

New Programmed Area Name

Program Area

Dispatch Supervisors Office - continued**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

Acoustics

- sound batt insul. in stud partitions

Security

- standard commercial lockset

Accessory Areas

- coat closet

Equipment

- 1 wall telephone
- 1 radio speaker

3.03 Unisex Restroom 65 s.f.**Plumbing**

- 1 Water closet
- 1 Sink

Equipment

- 1 wall telephone
- 1 radio speaker

3.04 Communications Equipment Room/IT 200 s.f.**Casework and Built-ins**

- 10 lineal feet of open counter

Equipment

- 1 electronic radio equipment racks
- 1 network racks
- 1 security rack
- 1 911 racks
- 1 future rack
- 1 administrative computer
- 16 lineal feet of 8' high plywood backboard
- 1 telephone

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Communications Equipment Room/IT - continued

- 1 logging recorder
- cable tray over racks

Electrical

- all systems on UPS and emergency generator
- 4 4" conduits from pole to communications equipment
- 4 4" conduit to antenna/microwave
- 2 future conduit to roof

Fire Protection

- pre-action fire suppression system

Security

- access from outside of dispatch
- proximity access control
- masonry wall construction or wire mesh in partitions
- 2 hour fire rating

3.05 Break Area**135 s.f.****Furniture**

- dining counter with two chairs

Casework and Built-ins

- 8 lineal feet of base and upper cabinets

Equipment

- 1 refrigerator
- 1 microwave
- 1 coffee machine
- 12 12" x 24" x 72" dispatcher lockers

Plumbing

- 1 kitchen sink

Display

- 1 flat panel wall monitor with cable tv

Public Safety

New Programmed Area Name

Program Area

4 . Records**4.01 Records Archive 120 s.f.****Furniture**

- 72 lineal feet of high-density 5 high file storage
- 4 three drawer lateral file cabinets

Equipment

- 1 wall telephone

Security

- proximity access control

4.02 Central Photocopy 50 s.f.**Casework and Built-ins**

- 6 lf base cabinets w/ countertop

Equipment

- 1 multipurpose machine
- 1 wall telephone(s)

Security

- none

4.03 Office Supply Storage 10 s.f.**Casework and Built-ins**

- 30 lineal feet of shelving on standards

5 . Patrol Facilities**5.01 Sergeants 240 s.f.****Furniture**

- 4 "L" workstations with chair and visitor chair
- 3 three drawer file cabinets

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Sergeants - continued**Equipment**

- 4 computer(s)
- 4 telephone(s)
- 1 multifunction print device

Display

- 1 4' x 4' marker board
- 1 4' x 4' tack board
- 1 GPS vehicle tracking monitor

Security

- standard commercial lockset

5.02 Patrol Conference 150 s.f.**Furniture**

- 1 conference table with six chairs

Equipment

- 1 computer connection at table
- 1 wall telephone(s)
- radio speaker with volume control

Display

- 1 4' x 6' marker board

Security

- standard commercial lockset

5.03 Report Preparation/Squad Room 200 s.f.**General**

- locate adjacent to dispatch with window between
- locate adjacent to licensing with window

Furniture

- 3 "L" computer workstations
- 1 conference table with eight chairs
- 4 two drawer lateral files

Public Safety

New Programmed Area Name

Program Area

Report Preparation/Squad Room - continued**Casework and Built-ins**

- 4 lineal feet of three four form cubbies
- 12 lineal feet of open counter over files
- 30 staff mailboxes

Equipment

- 1 wall telephone(s)
- radio speaker with volume control

Display

- 1 4' x 4' marker board
- 1 4' x 4' tack board

5.04 Quartermaster Storage 80 s.f.**Furniture**

- 6 24" x 36" x 72" five tier metal shelving

Electrical

- 2 wall mtd. charging rack
- 1 recharge for radar units

Security

- standard commercial lockset

5.05 Weapons Cleaning 40 s.f.**Furniture**

- 1 six foot stainless steel workbench

Equipment

- ultrasonic cleaner
- weapons clearing trap
- radio speaker with volume control

Casework and Built-ins

- 6 lineal feet of base cabinet with epoxy resin countertop

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Weapons Cleaning - continued**Mechanical**

- exhaust for cleaning fluid

Security

- none

5.06**Armory****40 s.f.****Furniture**

- 6 lineal feet of long gun storage rack
- 2 24" x 36" x 72" six tier metal shelving

6 .**Investigative****6.01****Detective's Office x 2****280 s.f.****Furniture**

- 1 "L" workstation
- 2 two drawer lateral file cabinets
- 2 visitor chairs

Casework and Built-ins

- 8 lf open countertop (over files)
- 16 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

Security

- standard commercial lockset

6.02**Interview Room****100 s.f.****General**

- locate between detective offices

Furniture

- 1 fixed table w/ four chairs

Public Safety

New Programmed Area Name

Program Area

Interview Room - continued**Electrical**

- 1 light switch w/ "in use" light
- 1 panic device
- laptop cable

Acoustics

- partitions to extend to underside of structure
- sound batt insul. in stud partitions
- acoustic wall panels on one wall

Security

- standard commercial lockset
- discreet CCTV audio and video surveillance

Special

- one-way glass to each office

6.03 Equipment Storage Room 12 s.f.**Furniture**

- 2 18" x 36" x 72" - 5 tier shelving

Security

- standard commercial lockset

7 . Department Administration**7.01 Administrative Assistant 120 s.f.****Furniture**

- 1 "U" workstation with chair
- 3 four drawer lateral file cabinets
- 1 typewriter stand

Equipment

- 1 computer
- 1 multifunction device
- 1 telephone

Security

- standard commercial lockset

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

7.02 Reprographics/Work Area 20 s.f.**Casework and Built-ins**

- 6 lineal feet of base & upper cabinets

Equipment

- 1 multifunction printer
- 1 paper shredder
- 1 mail machine

7.03 Future Office 120 s.f.**Furniture**

- 1 "U" workstation
- 3 two drawer lateral file cabinets
- 2 visitor chairs

Casework and Built-ins

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

Security

- standard commercial lockset

Accessory Areas

- coat closet

7.04 Lieutenant's Office 160 s.f.**Furniture**

- 1 "U" workstations
- 3 two drawer lateral file cabinets
- 1 worktable with four chairs

Casework and Built-ins

- 9 lf open countertop (over files)
- 18 lf wall shelving (over files)

Public Safety

New Programmed Area Name

Program Area

Lieutenant's Office - continued**Equipment**

- 1 computer (@ workstation)
- 1 telephone (@ workstation)

Acoustics

- sound batt insul. in stud partitions

Security

- standard commercial lockset

Accessory Areas

- coat closet

7.05 Chief's Office**180 s.f.****General**

- provide direct access from exterior

Furniture

- 1 exec. desk w/ credenza
- 2 two drawer lateral files
- 2 visitor chairs

Casework and Built-ins

- 6 lf open countertop (over files)
- 12 lf wall shelving (over files)

Equipment

- 1 computer (@ workstation)
- 1 printer (@ workstation)
- 1 telephone (@ workstation)

Acoustics

- partitions to extend to underside of structure
- sound batt insul. in stud partitions

Security

- standard commercial lockset

Accessory Areas

- large closet

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

7.06 Conference Room 320 s.f.**Furniture**

- 1 conference table w/ 16 chairs

Casework and Built-ins

- 6 lineal feet base cabinets

Equipment

- 1 telephone
- 1 laptop/projection provision at table
- 1 flat panel monitor

Acoustics

- partitions to extend to underside of structure
- sound batt insulation in stud partitions

Security

- standard commercial lockset

8 . Staff Facilities**8.01 Male Restroom/shower 210 s.f.****Casework and Built-ins**

- 6 lineal feet open countertop
- 6 lineal feet bench

Plumbing

- 1 hc toilet stall
- 2 urinals
- 2 sink
- 2 shower

Security

- standard commercial push/pull

Public Safety

New Programmed Area Name

Program Area

8.02 Male Locker Room 400 s.f.**Equipment**

- 24 2' x 2'-6" x 6' lockers
- 4 space for future lockers
- 1 4' wet gear rack
- 1 shoe shine station
- 1 weapons clearing trap

Security

- standard commercial push/pull

8.03 Female Restroom/shower 160 s.f.**Casework and Built-ins**

- 4 lineal feet open countertop
- 3 lineal feet bench

Plumbing

- 1 hc toilet stall
- 1 sink
- 1 shower

Security

- standard commercial push/pull

8.04 Female Locker Room 110 s.f.**Equipment**

- 6 2' x 2'-6" x 6' lockers
- 2 space for future lockers
- 1 2' wet gear rack
- 1 shoe shine station

Security

- standard commercial push/pull

8.05 Break Room 180 s.f.**Furniture**

- 1 table(s) with four chairs

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Break Room - Continued**Casework and Built-ins**

- 8 lf base and upper cab.

Equipment

- 1 refrigerator
- 1 microwave (in casework)
- 1 coffee machine (provision)
- 1 residential oven w/ cooktop
- 1 dishwasher

Plumbing

- 1 double bowl sink (in casework)

8.06 Miscellaneous Male Restrooms**65 s.f.****Casework and Built-ins**

- 4 lineal feet open countertop

Plumbing

- 1 hc toilet stall
- 1 urinals
- 1 sink (in counter)

Security

- standard commercial lockset

8.07 Miscellaneous Female Restroom**65 s.f.****Casework and Built-ins**

- 4 lineal feet open countertop

Plumbing

- 1 hc toilet stall
- 1 toilet stall
- 1 sink (in counter)

Security

- standard commercial lockset

Public Safety

New Programmed Area Name

Program Area

9 . Property and Evidence**9.01 Evidence Laboratory 150 s.f.****Furniture**

- 1 3' x 6' lab tables

Casework and Built-ins

- 24 lineal feet of base cabinets
- 12 lineal feet of upper cabinets

Equipment

- 1 counter top fuming tank
- 1 drying cabinet
- 2 pass thru locker units to evidence storage
- 1 pass thru locker units to be refrigerated

Plumbing

- 1 double bowl sink

Security

- proximity access control

9.02 Evidence Receiving 40 s.f.**Furniture**

- 1 computer station w/printer

Casework and Built-ins

- 5 lineal feet of base cabinet for storage of packaging materials
- 1 lineal feet of 6 - tier form cubbies

Equipment

- 2 pass thru locker units - two large capacity units minimum
 - one from hall
 - one unit from prisoner processing
- 1 refrigerated pass thru (in units above)

Security

- proximity access control

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

9.03 Evidence Storage 400 s.f.**Furniture**

- 4 24" x 36" x 72" metal shelving
- 90 lineal feet of high - density 5 - tier evidence storage system
- 1 valuables safe
- 12 lineal feet of locked longarms racks
- 1 3' x 2' x 6' lockable handgun storage cabinet
- 1 3' x 2' x 6' vented lockable drug storage cabinet

Equipment

- 1 refrigerator

Security

- proximity access control w/ "pin" keypad
- cctv monitoring

10 . Prisoner Processing**10.01 Sally Port (1-cruiser) 450 s.f.****General**

- 2 12' x 12' overhead doors for each bay
- 1 man door

Plumbing

- 1 eye wash/emergency shower
- 1 floor drain per bay

Security

- interlock all doors for one at a time operation
- cctv monitoring of interior and approach
- proximity access control in/out to Pris. Proc.
- proximity access control and remote release of OH doors from
- wire mesh partition to separate bay for vehicle

10.02 Processing Area 250 s.f.**Casework and Built-ins**

- 1 booking control workstation
- 1 booking bench with handcuff rings

Public Safety

New Programmed Area Name

Program Area

Processing Area - Continued**Equipment**

- 1 automated fingerprint machine
- 1 telephone (@ workstation)
- 1 telephone with two handsets for language line services
- 1 computer (@ workstation)
- 6 property lockers - two large enough for guitars/backpacks
- 1 mug shot camera on mount (@ workstation)
- static gray back drop (to match registry of motor vehicles) w/ height

Security

- proximity access control
- cctv monitoring of all areas
- panic devices throughout
- automatic openers for doors from sallyport
- use least possible number of cameras to monitor booking
- prisoner release exit
- weapons locker outside all entrances

10.03 Holding Cell 50 s.f.**Casework and Built-ins**

- 8 lineal foot bench with cuff rail

Electrical

- 1 detention grade light fixtures

Security

- minimum 10' high ceilings
- detention grade sliding door hardware w/ cuff door
- audio/video surveillance
- visual observation from booking area
- tamper resistant hvac grills - 1/8" holes maximum

10.04 Intoxilyzer Area 12 s.f.**Casework and Built-ins**

- 6 lineal feet base cabinet w/ epoxy resin countertop
- 1 booking bench w/ cuff rail

Electrical

- 1 tel/data for intoxilyzer

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

10.05 Custodial Closet 20 s.f.**Plumbing**

- 1 mop sink

Equipment

- 1 mop rack

Security

- high security lockset

10.06 Interview Room 100 s.f.**General**

- use for bail and lawyer meetings, provide vestibule near prisoner

Furniture

- 1 fixed table w/ two chairs

Electrical

- 1 light switch w/ "in use" light
- 1 panic device

Equipment

- 1 phone discreetly located

Acoustics

- partitions to extend to underside of structure
- Acoustic wall panels on one wall

Security

- high security lockset
- discreet CCTV audio and video surveillance w/ local control

10.07 Detention Restroom/shower 50 s.f.**Plumbing**

- 1 handicapped accessible detention combination fixture
- 1 shower stall

Public Safety

New Programmed Area Name

Program Area

11 . Detention Facilities**11.01 Unisex Cells (x3) 400 s.f.****Casework and Built-ins**

- 1 32" x 72" x 18" concrete bunk

Equipment

- telephone with long phone line

Plumbing

- 1 detention combination fixture

Electrical

- 1 detention grade light fixtures
- audio/video surveillance
- tamper resistant hvac grills - 1/8" holes maximum

12 . Vehicle Storage**12.01 Vehicle Processing/Cruiser Maintenance 960 s.f.****General**

- 1 12' x 12' overhead door

Equipment

- 1 tool cabinet
- 1 6' work bench
- 1 12' tire rack
- 1 55 gallon oil storage tank
- 1 tire balancer
- 1 four post lift

12.02 Mechanic's Storage 40 s.f.**Furniture**

- 3 24" x 36" x 72" five tier shelving

Security

- standard commercial lockset

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Fire Facility

13 . Administration

13.01 Conference Room 200 s.f.

Description

- Seating for 8-10
- AV, TV, Screen, Lectern, etc.: All and whiteboard
- Computer/communications: Yes, Wi-Fi and cable, ceiling
- Adjacencies/comments: Combined with Police if Public Safety,

13.02 Chief's Office 180 s.f.

Description

Chief's Office

Furnishings

Desk, credenza, files, table for 6, bookshelves, 4 plex at desk.

Comments/Adjacencies

Secure, TV and presenting room off office

Adjacent to shared bunk

13.03 Captains Office 160 s.f.

Description

Captain's Office with bunk area attached

Furnishings

Desk, credenza, files, table for 6, bookshelves, 4 plex at desk

Comments/Adjacencies

Adjacent to shared bunk

13.04 Shared Bunk 144 s.f.

Description

Shared bunk for Chief & Captain

Furnishings

- 2 Beds
- 2 Wardrobes

Comments/Adjacencies

Ramp up lighting at bunk.

Public Safety

New Programmed Area Name

Program Area

13.05 Department Administrators Office 120 s.f.**Description**

Department Administrator's Office

Furnishings

Desk, cabinets, copier, printer, file cabinet.

Comments/Adjacencies

Chief and Captain's offices adjacent to front entry

13.06 Fire Prevention / Shared Office With EMS 300 s.f.**Description**

Fire Prevention, Shared Office

Furnishings

3 desks, storage drawers with flat surface for Plan reviews.

Comments/Adjacencies

Office needs to be adjacent to entry, Public access

13.07 Workspace 100 s.f.**Description**

Base and wall cabinets, solid surface counter, mailing

Comments/Adjacencies

Widened corridor to house copier, large format printer/plotter, office supplies.

13.08 Records Storage 100 s.f.**Description**

File cabinets, lateral files, table and chairs

Comments/Adjacencies

Secure

13.09 Network/IT 200 s.f.**Description**

4 racks with clearance all round, marked for Verizon and 911

HVAC

Dedicated split system, fully alarmed for heat, humidity,

Comments/Adjacencies

- Secure
- Adjacencies/comments: Manual sprinkler, combined with

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

14 . Firefighter's/EMTs**14.01 Firefighter's/EMTs Day Room 300 s.f.****Description**

- Recliners and TV
- Number of Seats/Type: 4 - 6

Furnishings

TV, end tables.

Comments/Adjacencies

Kitchen and bunk suite, clear path to Bays, easily cleaned, no

14.02 Kitchen 250 s.f.**Description**

- Recliners and TV
- Number of Seats/Type: 4 - 6

Furnishings

TV, end tables.

Comments

Kitchen and bunk suite, clear path to Bays, easily cleaned, no Full Commercial equipment and appliances.

Equipment

Ansul hood, stove, stainless steel, 3 – sinks, 1 for food prep, all Refrigerators: 2 with freezers attached.

Pantry/Food Storage: 4 locked stainless steel shelves; one for

Finishes/Materials

All tile floor and walls, moisture resistant ceiling, Quartz or

Comments/Adjacencies

Floor drains, 1/4" piping for water to refrigerator and coffee

14.03 Dining 200 s.f.**Description**

Open to kitchen

Equipment

TV, end tables.

Comments

Kitchen and bunk suite, clear path to Bays, easily cleaned, no Table for 12, TV mounted on wall.

Comments/Adjacencies

Kitchen, Day Room and Bays.

Public Safety

New Programmed Area Name

Program Area

14.04 Bunkers/Bed 480 s.f.**Bunk Type**

- (4) singles - can be converted to doubles in future
- Separate suites, quiet and private

Furnishings

Bed, wardrobes for 4, small desk

Comments/Adjacencies

Overhead fan, individual climate controls, lighting comes up

14.05 Baths/Showers 180 s.f.**Description**

Individual, 2 are required, unisex, sink, shower, water closet.

Location

Within bunk suite

Comments/Adjacencies

All tile floors and walls, floor drain, solid surface countertop,

14.06 Lockers 250 s.f.**Description**

Separate rooms for call responders.

Location

Bunker suite

Lockers

40 male, 15 Female : 12" wide full height, sloped top.

Comments/Adjacencies

Male and female to share room, tile floor and all exposed walls, phenolic benches.

14.07 Housekeeping Storage 44 s.f.**Description**

Washer, dryer, folding table.

Comments/Adjacencies

Shelving, mop and broom holder, dry goods, cleaning supplies.

14.08 Private Lobby 48 s.f.**Description**

Access directly to Administration

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

15 . Apparatus/Training**15.01 Apparatus Bays (12) - 6 double-deep****8,320 s.f.****Vehicles - total of 9**

- E1 Type: Pump Length: 34' Weight: 47,000 Capacity: 4
- E2 Type: Pump Length: 40' Weight: 62,000 Capacity: 6
- E3 Type: Pump Length: 32' Weight: 53,000 Capacity: 4
- T1 Type: Ladder Length: 42' Weight: 81,000 Capacity: 6
- A1 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3
- A2 Type: Ambulance Length: 22' Weight: 15,000 Capacity: 3
- Car 3 Type: Truck Length: 18' Weight: 8,000 Capacity: 2
- Boat Type: Nautic Length: 10'
- UTV Type: Gravely Length: 8

Type of Bays

- Drive-thru - respond in both directions
- All double deep, back to back

Overhead Doors

- 2 rows of glass.
- Front: Number: 6 Width: 14 Height: 14
- Rear: Number: 6 Width: 14 Height: 14

Foam

Type: 20-30 gallons/5 gallon pails.

Trench Drains

centered under all apparatus – to Oil/Water separator.

Hose Reels

Hannay wall mounted with 50' x 3/4" hose, 6 total; 3 front and 3

Fume Exhaust

Plymovent – hydraulic, all Bays, 2 fans; one for each group of six

Truck Fills

Overhead: One, center location.

Outdoor hydrant: Yes Location: Adjacent to Apron.

Overhead Fans

BAF or eq.

Electrical Drops

11 Bays – 20 AMP/Drop.

Air Drops (2)

In-Line Air Dryer, no combination plugs.

Compressed Air

2 in front and 2 in rear on overhead reels.

Sinks

deep bowl.

Public Safety

New Programmed Area Name

Program Area

Apparatus Bays (12) - 6 double-deep - Continued**Finshes**

Epoxy flooring, non-slip, multi-color with Back0in safety stripe

Ice Machine

For ambulances

Comments/Adjacencies

Introduce daylighting, hand towel dispenser at each overhead door pilaster.

15.02 Training Tower (Possible to be third stair) 600 s.f.**Description**

Design as integral part of Bays and Connected to Mezzanine.

Features

- Rappelling: Yes
- Stairs: Yes
- Roof Access: Yes, reinforce parapet and roof surface at training
- Roof training: Yes
- Windows: Yes, several levels and sizes.
 - a. Need a window at first floor level.
 - b. Need window at the height of a 2-story residential building for the
- Hose: Yes
- Confined Space: Yes
- Sprinkler: Yes Dry: Yes
 - a. Use water service as training prop.
- Blackout: Yes
- Hose Drying: Yes Winch: Yes, 2 Ton.
- Other Specialized Training: Modular setup, overhead grid,

16 . Firematic Support**16.01 Mezzanine 1280 s.f.****Description**

Large as possible, attached to tower, share stairs.

Size

Full depth of Bays, training, possible storage, no mechanical uses.

16.02 Storage Room #01 100 s.f.**Description**

Hose, fittings and nozzles

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Storage Room #01 - Continued**Location**

Off the bays

Comments/Adjacencies

Racks, shelves and wall cabinets

16.03 Work Room**120 s.f.****Equipment**

- Mechanic: Town does large repairs outside of Station.
- Service: Pump service
- Workbench: Yes
- Tool storage: Yes, hand tools
- Power tools: Grinder, drill press
- Air: Yes, for tools.
- Water: Yes, deep bowl, stainless steel sink.

Comments/Adjacencies

Fire department needs stainless steel wall cabinets and shelves.

16.04 Firematic DeCon/Laundry**168 s.f.****Equipment**

- Sink: Yes, stainless steel with sideboard.
- Extractor: Will need to purchase. Brand: TBA
- Gear dryer: Will need to purchase Dehydrator type.
- Clothes washer: Yes, located on clean side of Station.
- Clothes Dryer: Yes located on clean side of Station.
- Drench/Eye Wash: Yes, cartridge type, proximity to work room.
- Red Bag and Sharps: Yes
- Holding Tank: No, clean at scene or hospital.
- Backboard cleaning: On occasion.
- Drench Shower: Yes
- Blood borne pathogens: Minimal, clean at hospital.

Comments/Adjacencies

DeCon done at hospital, NFPA 1581. Direct access to Hot Zone

Public Safety

New Programmed Area Name

Program Area

16.05 EMS Storage 64 s.f.**Description**

Restock ambulance, EMS supplies (blankets, bandages, etc.).

Security

- Access control
- camera monitored

Comments/Adjacencies

Stainless steel shelving all around room. Locked cabinet for

16.06 Air Room (SCBA) 200 s.f.**Equipment**

Sink: Yes, 4 compartment, stainless steel, NFPA 1581

Counters: 2 sideboards, mask hooks above sink

Air compressor: Yes, 3 bottles, 4,500 and 5,500 lbs.

7.4.1 Remote fill station: Yes, from compressor to Air Room

SCBA storage: All bottles Rack: 4 on a rack.

Repair: small, masks.

O2 Storage

Number of Cylinders: 16 – D and 1 – M. Look at system to hold

Comments/Adjacencies

Compressor in separate room. Will need air supply, sound

16.07 Turnout Gear 300 s.f.**Description**

40 required, largest locker possible, secured to walls.

Equipment

Racks: Gear Grid or Ready Rack.

Comments/Adjacencies

Over Head fans, HVAC and constant exhaust, HEPA Filter, wall

16.08 Radio/Communications Room 144 s.f.**Location**

Watchroom - Adjacent to Bays with direct vision

Seating requirements

3

Door operation

Control of all 12 doors, numbered

Equipment

Traffic control: No, Opticom on trucks, depends on location of

ROOM SUMMARY

Westminster, Massachusetts
Detail Space Requirements

Public Safety

New Programmed Area Name

Program Area

Radio/Communications Room - Continued

Internal paging system: Yes, and base radio.
 Siren: Yes, part of ISO Rating.
 Computer equipment: Yes, for each station
 Closed Circuit TV, Phones, Weather Station: Yes
 File cabinets: Yes
 Wall mounted items: Maps
 Rechargeable items (plectrons): Portable radio batteries
 911 tie in: No
 Console:
 - Phones, switches, door controls, siren.
 Lockable storage: No

Comments/Adjacencies

Secondary Communication Center for Dispatch, adhere to

16.09 Unisex Restroom**60 s.f.****Plumbing**

Water closet, sink, urinal, hose bib for cleaning, floor drain

Comments/Adjacencies

All hard washable surfaces, moisture resistant ceiling.

17 . Support**17.01 Custodial Closets x 2****96 s.f.****Plumbing**

1 mop sink

Equipment

1 mop rack

Security

- standard commercial lockset

17.02 Mechanical Room**320 s.f.**

- confirm size with system selection

Security

- standard commercial lockset

Public Safety

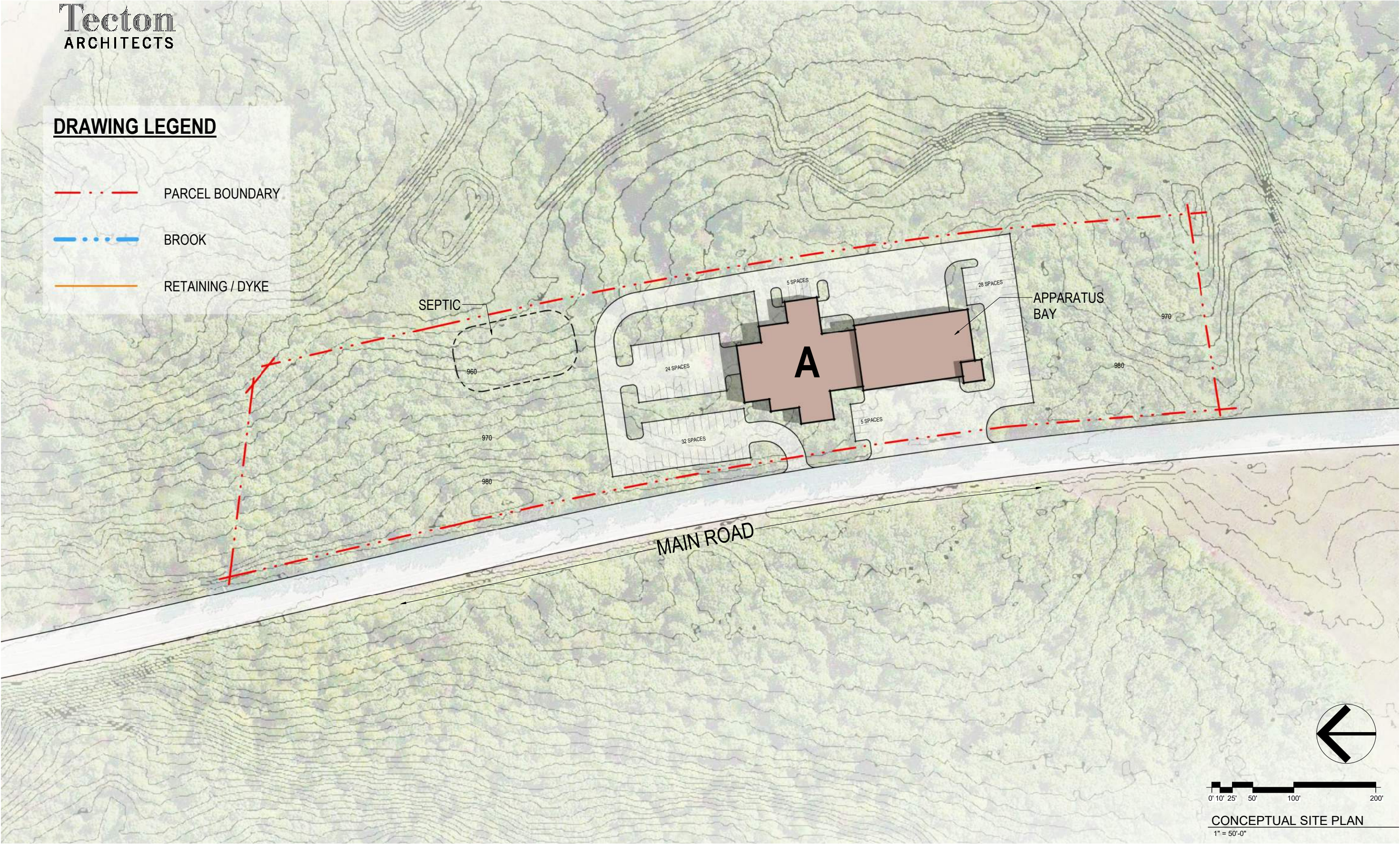
New Programmed Area Name	Program Area
17.03 Sprinkler Room	TBD s.f.
<ul style="list-style-type: none"> confirm size with system selection Security <ul style="list-style-type: none"> standard commercial lockset 	
17.04 Air Handling Equipment Room	TBD s.f.
<ul style="list-style-type: none"> Use attic or roof top 	
17.05 Electrical Room	TBD s.f.
<ul style="list-style-type: none"> confirm size with system selection Security <ul style="list-style-type: none"> standard commercial lockset 	
17.06 Emergency Electrical Room	TBD s.f.
<ul style="list-style-type: none"> confirm size with system selection Security <ul style="list-style-type: none"> standard commercial lockset 2-hour fire rated construction 	
18 . Vertical Circulation	
18.01 Stair x 3 x 2-floors	1200 s.f.
<ul style="list-style-type: none"> assumed floor count 	
18.02 Elevator x 2-floors	120 s.f.
<ul style="list-style-type: none"> hc sized cab 	
18.03 Elevator Machine Room	60 s.f.
<ul style="list-style-type: none"> per elevator requirements 	

SITE REQUIREMENTS

Westminster, Massachusetts
Site Needs Assessment

Public Safety

New Programmed Area Name		Quantity	Programmed Area	
S.1	Building Area			
	Building Footprint	2 story	20,165	s.f.
	Future Building Growth (25% of programmed area)		5041	s.f.
	Subtotal:		25,206	s.f.
S.2	Parking Area			
	Visitor Parking	15 spaces	2,475	s.f.
	Visitor Handicapped Parking	2 spaces	540	s.f.
	Staff Parking	60 spaces	9,900	s.f.
	Staff Handicapped Parking	2 spaces	540	s.f.
	Cruiser Parking	12 spaces	1,980	s.f.
	Oversize Fleet Parking	2 spaces	650	s.f.
	Travel Lane Allowance		12,800	s.f.
	Subtotal:		28,885	s.f.
S.3	Site Utilities			
	Electrical Transformers		100	s.f.
	Emergency Generator		350	s.f.
	Antenna Tower		500	s.f.
	AC Equipment		400	s.f.
	Dumpsters		240	s.f.
	Storm Water Retention		5,500	s.f.
	Subtotal:		7,090	s.f.
S.4	Site Amenities			
	Patio / Grill area		1,200	s.f.
	Training Props	6 spaces	1,200	s.f.
	Impound Lot	6 spaces	1,200	s.f.
	Subtotal:		3,600	s.f.
S.5	Setbacks and Green Space			
	Green space		20,900	s.f.
	Setbacks		18,700	s.f.
	Subtotal:		39,600	s.f.
	Summation			
	Minimum useable site area		91,778	s.f.
	Minimum useable site acreage		2.11	ac.



OPINION OF PROBABLE COSTS

**Town of Westminster
Public Safety Building
Projected Budget Options**

March 22, 2019

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OPINION OF
PROBABLE COSTS

	New Fire Station 2020	New Police Station 2020	New Police Exist. Site 2022	New Combined Facility 2020
\$(000) except \$/GSF				
New Construction GSF	22,346	15,527	15,527	32,264
Renovation GSF	0	0	11,000	0
Total GSF	22,346	15,527	26,527	32,264
New Construction \$/GSF - Current	\$ 425.00	\$ 450.00	\$ 450.00	\$ 450.00
Renovation \$/GSF - Current	\$ -	\$ -	\$ -	\$ -
New Construction \$/GSF - Escalated	\$ 477.50	\$ 505.60	\$ 505.60	\$ 505.60
Renovation \$/GSF - Escalated	\$ -	\$ -	\$ -	\$ -
Total Construction w/ site \$/GSF	\$ 57.23	\$ 60.40	\$ 56.26	\$ 60.41
Total Project \$/GSF	\$ 718.89	\$ 787.12	\$ 508.63	\$ 764.10
I. Building Construction				
A. New Building Construction	\$ 9,497.1	\$ 6,987.2	\$ 6,987.2	\$ 14,518.8
B. Existing Building Renovations				
Total Building Construction	9,497.1	6,987.2	6,987.2	14,518.8
II. Related Construction				
A. Sitework	850.0	600.0	700.0	1,250.0
1 Site Prep.	included	included	included	included
2 Drives, Paths & Plazas	included	included	included	included
3 Parking	included	included	included	included
4 Site Improvements	included	included	included	included
5 Landscape & Planting	included	included	included	included
6 Building Demolition	-	-	125.0	-
7 Wetlands Mitigation	-	n/a	n/a	n/a
B. Site Utility Systems	included	included	included	included
1 Water & Fire Protection	included	included	included	included
2 Sanitary Sewer	included	included	included	included
3 Storm Sewer	included	included	included	included
4 Electric	included	included	included	included
5 Data & Communications	included	included	included	included
6 Site Lighting	included	included	included	included
7 Gas	included	included	included	included
8 Steam	included	included	included	included
9 Chilled Water	included	included	included	included
C. Hazardous Materials	Not Included	Not Included	Not Included	Not Included
Total Related Construction	850.0	600.0	825.0	1,250.0
SubTotal Construction - Current	\$ 10,347.1	\$ 7,587.2	\$ 7,812.2	\$ 15,768.8
III.. Escalation (2021 Completion)	1,278.9	937.8	1,492.3	1,949.0
Total Construction - Escalated	\$ 11,626.0	\$ 8,525.0	\$ 9,304.5	\$ 17,717.8
IV. Furniture, Fixtures & Equipment (FF&E)				
A. Loose Furnishings	147.0	196.0	196.0	315.0
B. Program Related Equipment	75.0	100.0	100.0	145.0
C. Data/Telecomm Equipment	150.0	200.0	200.0	300.0
D. Audio/Visual Equipment	30.0	50.0	50.0	65.0
E. Security	40.0	50.0	50.0	70.0
F. Specialty Signage	10.0	10.0	10.0	15.0
Total FF & E	452.0	606.0	606.0	910.0
V. Fees and Expenses				
A. Fees				
1 Existing Cond & Space Program	Not Included	Not Included	Not Included	Not Included
2 Architect	1,166.0	913.1	991.1	1,958.0
a Structural Eng.	w/ architect	w/ architect	w/ architect	w/ architect
b MEP Eng.	w/ architect	w/ architect	w/ architect	w/ architect
c Civil Eng.	w/ architect	w/ architect	w/ architect	w/ architect
d Landscape Arch.	w/ architect	w/ architect	w/ architect	w/ architect

**Town of Westminster
Public Safety Building
Projected Budget Options**







































March 22, 2019

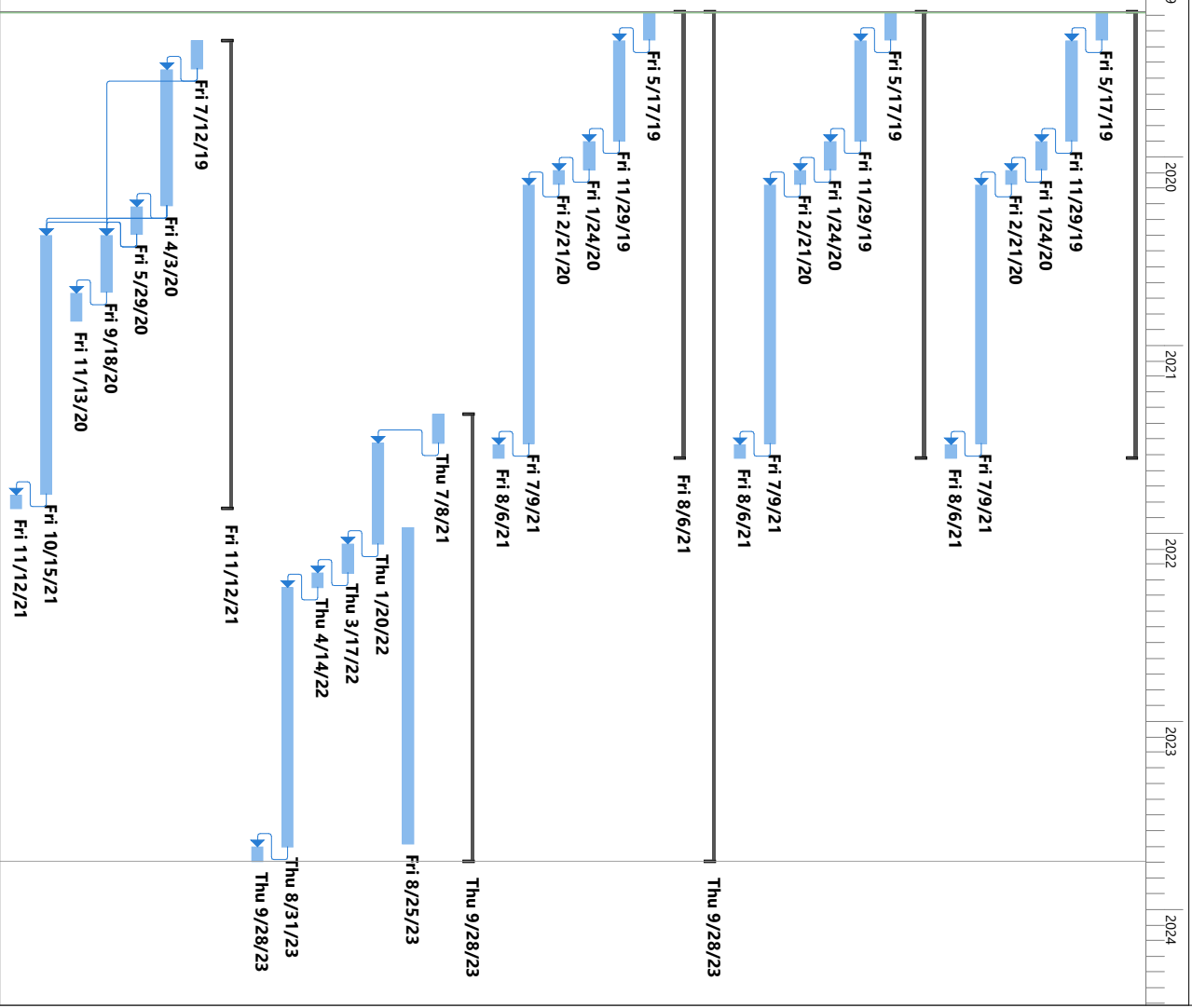
		New Fire Station 2020	New Police Station 2020	New Police Exist. Site 2022	New Combined Facility 2020
\$ (000) except \$/GSF					
e	Interior/Furniture Designer	w/ architect	w/ architect	w/ architect	w/ architect
f	Code	w/ architect	w/ architect	w/ architect	w/ architect
g	Lighting	w/ architect	w/ architect	w/ architect	w/ architect
h	Acoustical	w/ architect	w/ architect	w/ architect	w/ architect
i	Signage	w/ architect	w/ architect	w/ architect	w/ architect
j	Referendum Services	w/ architect	w/ architect	w/ architect	w/ architect
k	LEED Designer	w/ architect	w/ architect	w/ architect	w/ architect
l.	Security	w/ architect	w/ architect	w/ architect	w/ architect
3	Special Consultants				
a	Haz. Mat. Consultant	Not Included	Not Included	35.0	Not Included
b	Audio/Visual	w/ architect	w/ architect	w/ architect	w/ architect
c	Computer/Info. Systems	w/ architect	w/ architect	w/ architect	w/ architect
d	Geo-Tech	35.0	35.0	45.0	35.0
e	Traffic	-	-	-	-
f	Ecologist/Soil Sample	-	-	-	-
g	Peer Reviews	-	-	-	-
h	Green Building Consultant	w/ architect	w/ architect	w/ architect	w/ architect
4	Project Management	581.3	426.3	465.2	750.0
5	Building Commissioning	47.5	34.9	34.9	50.0
6	Owner's Cost Estimator	-	-	-	32.0
7	Owner's Legal Fees	15.0	15.0	15.0	15.0
8	Site Survey	10.0	10.0	10.0	10.0
9	Utility Assessment	50.0	50.0	20.0	50.0
Sub-total Fees		1,904.8	1,484.3	1,616.2	2,900.0
B.	Expenses				
1	Owner's Insurance	17.4	12.8	35.0	26.6
2	Permits	Not Included	Not Included	Not Included	Not Included
3	Printing	12.0	12.0	12.0	12.0
4	Construction Utilities Use	w/ Constr	w/ Constr	w/ Constr	w/ Constr
5	Site Borings	w/ GeoTech	w/ GeoTech	w/ GeoTech	w/ GeoTech
6	Materials Testing	50.0	42.6	25.0	50.0
7	Special Inspections	-	-	-	-
8	Consultant Reimbursables	25.0	25.0	25.0	25.0
9	Moving/Relocation	25.0	40.0	80.0	50.0
10	Physical Plant Expenses	-	-	-	-
11	Misc. Expenses	25.0	25.0	25.0	25.0
12	Advertising	5.0	5.0	5.0	5.0
13	Temporary Space/Operations	-	-	180.0	-
14	Financing Costs/Bond Origination	50.0	50.0	50.0	70.0
15	Site Acquisition	N/A	N/A	N/A	N/A
Sub-total Expenses		209.4	212.4	437.0	263.6
Total Fees and Expenses		2,114.2	1,696.7	2,053.2	3,163.6
V.	Contingency				
A.	Construction	1,162.6	852.5	930.5	1,771.8
B.	Owner's Project	709.6	541.4	598.2	1,089.6
Total Contingency		1,872.2	1,393.9	1,528.7	2,861.4
Total Project		\$ 16,064.4	\$ 12,221.6	\$ 13,492.4	\$ 24,652.8

Colliers PM/NE
67 Hunt St.
Agawam, MA

Public Safety Design & Construction Options
Westminster, MA

Westminster, Town of
Westminster, MA
Public Safety Bldg Committee

ID	Task Name	Duration	Cost	
1	 Fire Station New Location	620 days	\$16,064,400.00	
2	 Local Funding (STM)	2 mons	\$10,000.00	
3	 Design/Precon	7 mons	\$2,034,200.00	
4	 Bidding	8 wks	\$35,000.00	
5	 Local Funding (STM)	1 mon	\$10,000.00	
6	 Construction-Fitout	18 mons	\$13,950,200.00	
7	 Relocation	1 mon	\$25,000.00	
8	 Police Station New Location	620 days	\$12,221,600.00	
9	 Local Funding (STM)	2 mons	\$10,000.00	
10	 Design/Precon	7 mons	\$1,601,700.00	
11	 Bidding	8 wks	\$35,000.00	
12	 Local Funding (STM)	1 mon	\$10,000.00	
13	 Construction	18 mons	\$10,524,900.00	
14	 Relocation	1 mon	\$40,000.00	
15	 Staggered Project Approach	1179 days	\$29,556,800.00	
16	 New Fire, New Site	620 days	\$16,064,400.00	
17	 Local Funding (STM)	2 mons	\$10,000.00	
18	 Design/Precon	7 mons	\$2,034,200.00	
19	 Bidding	8 wks	\$35,000.00	
20	 Local Funding (STM)	1 mon	\$10,000.00	
21	 Construction-Fitout	18 mons	\$13,950,200.00	
22	 Relocation	1 mon	\$25,000.00	
23	 New Police Station Existing Site	620 days	\$13,492,400.00	
24	 Local Funding (STM)	2 mons	\$10,000.00	
25	 Temporary Relocation	22 mons	\$250,000.00	
26	 Design/Precon	7 mons	\$1,708,200.00	
27	 Bidding	8 wks	\$35,000.00	
28	 Local Funding (STM)	1 mon	\$10,000.00	
29	 Construction	18 mons	\$11,439,200.00	
30	 Relocation	1 mon	\$40,000.00	
31	 New Public Safety Facility, New Site	650 days	\$24,652,800.00	
32	 Local Funding (STM)	2 mons	\$10,000.00	
33	 Preliminary Design, CM Selection	9.5 mons	\$750,000.00	
34	 Local Funding (STM)	2 mons	\$10,000.00	
35	 Design/Precon	4 mons	\$2,293,600.00	
36	 CM/Trade Contractors	8 wks	\$60,000.00	
37	 Construction	18 mons	\$21,489,200.00	
38	 Relocation	1 mon	\$40,000.00	



SUMMARY OF RESULTS

Structural

The current structure is deficient for this building type. Public Safety Facilities are considered Essential Service Facilities and have an increased wind and seismic load requirement over other municipal buildings. As such, numerous structural upgrades will be required should this building be part of a renovation / addition. The existing roof structure is assumed to be designed for a snow load of 35 psf. The current building code for this building type requires a snow load of 50.4 psf. This would likely require a full replacement of the entire roof structure. Additionally, most of the CMU (Concrete Masonry Unit) walls are not seismically braced to the structure reducing the buildings lateral load capacity. For wood framed walls, many of the existing are acting as shear walls. If more than 10% of these are altered than additional reinforcing will need to be installed.

Architectural

The current site and building will require significant upgrades and renovations in order to create a new, code compliant facility.

The concerns with the site include, flooding from the adjacent stream, a high water table (+/-5'-0" below grade), and a sub-surface soil condition that may result in inadequate bearing capacity for any additions. Whether or not this building is renovated or replaced these concerns will need to be addressed. To mitigate flooding risk the site should be elevated by several feet. Additionally it would be recommended that a retaining wall be installed to harden the banks of the stream to prevent erosion damage to the site and future breaches of the bank. The high water table and presence of organic material between current grade and -8'-0" +/- below grade will require a detailed geotechnical analysis, which is likely to recommend either driven piles, or a combination of rammed aggregate piers and grouted aggregate piers to increase site bearing capacity and soil stabilization.

Many of the buildings exterior finishes will need to be replaced within the next few years if the structure is to be preserved. In particular, the siding and the low slope EPDM roof require immediate attention to prevent interior water damage.

The interior of the building has several concerns that will need to be addressed. First, a HazMat review will need to be conducted to determine the extent of abatement that will be required. Based on the 1995 drawings it is assumed that the building contains ACM (Asbestos Containing material). It has not been confirmed if additional hazardous materials are present at this time.

Many of the room layouts do not currently work with the departments use, and have several ADA (Americans with Disabilities Act) violations. As noted in the structural review, if many of the walls are modified then additional structural bracing will be required. Additionally, the thermal envelope is significantly out of compliance with the current energy code. However, as noted in the structural review, this cannot be achieved without replacing the roof structure as the snow load cannot be increased as currently designed.

Significant modifications would also be required to bring this facility up to current standards for Police, Fire and Dispatch facilities. It is also noted that this construction type will not allow for this building to be compliant with NFPA 1221, which is the standard for emergency services communications facilities. Current separations between the apparatus bays and the rest of the building are limited and may be resulting in cross contamination of hazardous materials that are brought in by fire fighters on their gear when they return from a call. This may pose a potential health risk to the department.

MEP Systems

Many of the buildings mechanical systems were installed during the 1995 renovation. Several components have been replaced recently, but most of the systems installed in 1995 will need to be replaced with the renovation. If the building is not renovated then these systems will likely need to be replaced over the next 5 years.

Currently, portions of the communications equipment servers are housed in the mechanical room causing heating and cooling conflicts. These functions will need to be separated. Also, the current building has limited air conditioning. Lighting is currently limited to T8 lamps. It is recommended that these be replaced with LED lighting in order to have the building in compliance with the energy code.

New Facility Costs

Based on the programs that were developed an opinion of probable costs for each facility was prepared. To these construction costs escalation was accounted for based on the different assumed construction schedules for each facility, as well as soft costs for project development. These options were estimated to the assumed mid-point of construction.

Option 1 - New Fire Station on a new site, year 2020, for a cost of \$16,064,400

Option 2 - New Police Station on a new site, year 2020, for a cost of \$12,221,600

Option 3 - New Police Station on the existing site, year 2022, for a cost of \$13,492,400

Option 4 - New Public Safety on a new site, year 2020, for a cost of \$24,652,800

CONCLUSION

In summary, there are numerous significant deficiencies with this building as designed for an essential services facility. Major structural, thermal envelope, and mechanical systems will need to be upgraded in order for this building to comply with the current codes, and standards that govern this type of facility.

It is the recommendation of this study that the amount of upgrades required to have this building be functional and code compliant are too significant for a renovation to be feasible. It would be less costly, and likely will result in a better performing building for the Town of Westminster if this building is either demolished and a new building is constructed in its place, or a new Public Safety Facility be constructed on a different site.

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ARCHITECTS

1 HARTFORD SQUARE WEST, HARTFORD, CT 06106 | 860.548.0802
17 RAILROAD AVENUE, WESTERLY, RI 02891 | 401.596.7555
TECTONARCHITECTS.COM