

DEFINITIVE SUBDIVISION PLAN

CLUSTER HOUSING PROJECT §205-37

"PARK MEADOW"

WESTMINSTER, MA

NOTE:

THE PROPOSED PROJECT HAS BEEN DESIGNED IN CONFORMANCE WITH CLUSTER HOUSING PROJECT STANDARDS AS DEFINED IN SECTION 205-37 OF THE WESTMINSTER ZONING CODE AND AS PRESENTED TO THE WESTMINSTER PLANNING BOARD DURING THE PRELIMINARY SUBDIVISION PHASE OF THIS PROJECT.

LIST OF WAIVERS:

- §231-12.D.1.d TO ALLOW THE EXISTING CONDITIONS PLAN & EROSION CONTROL PLAN TO BE DRAWN AT A SCALE OF 1"=80' (1"=40' REQUIRED PER §231-12.D.1.d) AND TO ALLOW THE VERTICAL SCALE OF THE PROFILE TO BE DRAWN AT A SCALE OF 1"=8' (1"=4' REQUIRED PER §231-12.D.1.d).
- §231-14 A. TO ALLOW A MAXIMUM GRADE OF A RESIDENTIAL ROADWAY TO EXCEED 6% (8% PROPOSED DUE TO EXISTING TOPOGRAPHY) ALONG WITH A REDUCED PAVEMENT WIDTH OF 24-FEET (26-FEET REQUIRED §231-14 A).
- §231-15 A. TO ALLOW A DEAD END STREET TO BE LONGER THAN 500 LINEAR FEET (858- FEET OF NEW ROADWAY PROPOSED, 1,323- FEET FROM THE EXISTING MILES AVENUE INTERSECTION).
- §231-27 D. TO OMIT GRANITE CURB INLETS AT PROPOSED CATCH BASINS.
- §231-27 J. TO ALLOW CAPE COD BERM IN PLACE OF SLOPED GRANITE EDGING ON CUL-DE-SAC.
- §231-30 TO ALLOW SIDEWALKS TO BE LIMITED TO ONE SIDE OF THE NEW SUBDIVISION ROAD AND TO ALLOW DRIVEWAY WIDTHS OF 12- FEET (14- FEET REQUIRED).

APPLICANT

JEANSON BUILDERS CONTRACTING, INC
98 CHARTER ROAD
ACTON, MA 01720

RECORD OWNER:

DENNIS LLATORRE & DOBORA PLASZEWSKI
12 PARK STREET
WESTMINSTER, MA 01473

DEED REFERENCE:

BOOK 3281 PAGE 329

PLAN REFERENCE:

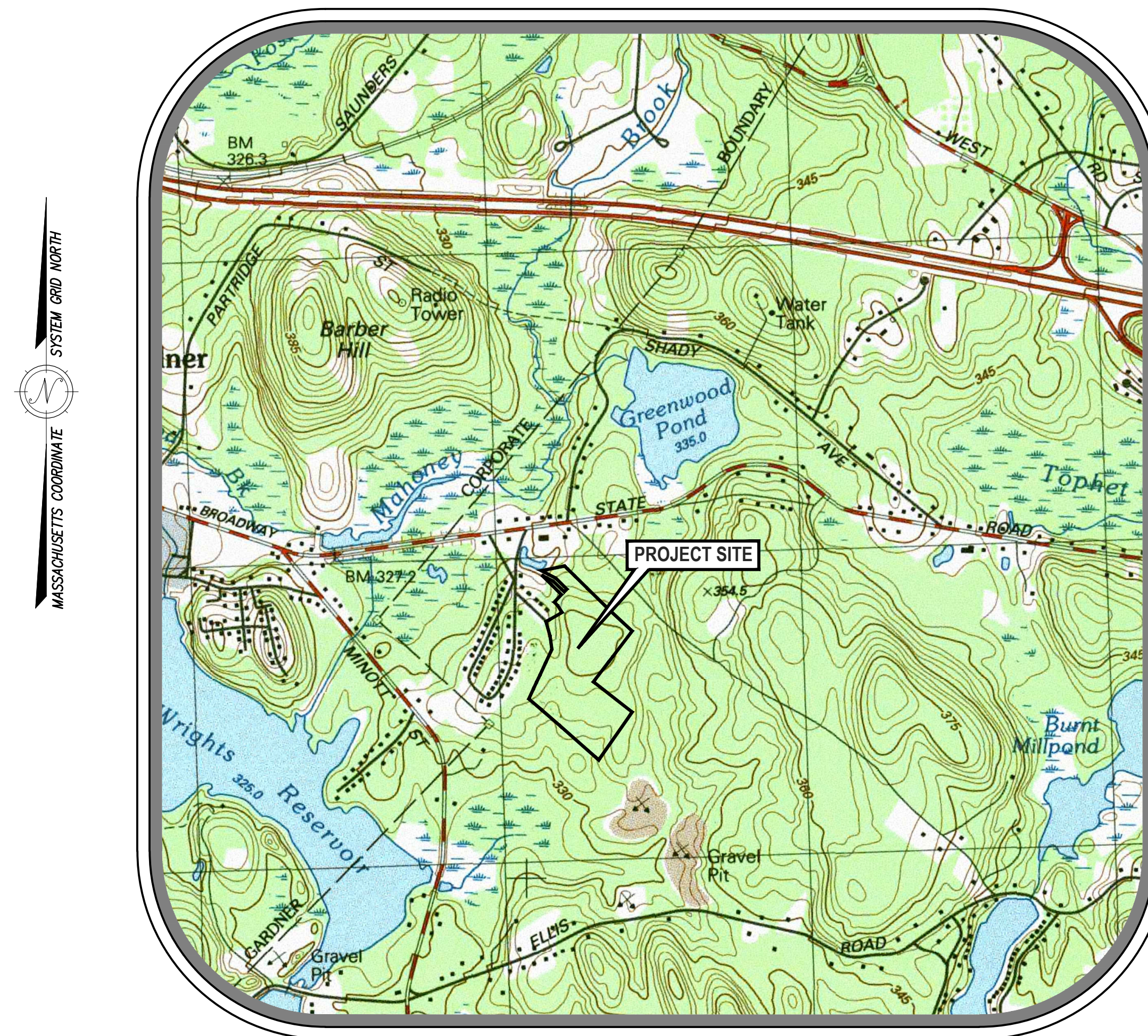
PLAN BOOK 77 PLAN 8

ASSESSORS REFERENCE:

PARCEL ID: 103-4 & 103-6

ZONING DISTRICT:

RESIDENTIAL I
RESIDENTIAL II



USGS LOCUS MAP

SCALE: 1"=1,100'±

SHEET INDEX

SHEET NUMBER	SHEET TITLE	PLAN DATE	LATEST REVISION
SHEET C1.1	TITLE SHEET	3/6/2023	7/31/2023
SHEET C1.2	NOTES, SYMBOLS & ABBREV.	3/6/2023	7/31/2023
SHEET C1.3	EXISTING CONDITIONS PLAN	3/6/2023	7/31/2023
SHEET C2.1	LOT LAYOUT PLAN	3/6/2023	7/31/2023
SHEET C2.2	LOT LAYOUT PLAN	3/6/2023	7/31/2023
SHEET C2.3	LOT LAYOUT PLAN	3/6/2023	7/31/2023
SHEET C3.1	GRADING PLAN	3/6/2023	7/31/2023
SHEET C3.2	GRADING PLAN	3/6/2023	7/31/2023
SHEET C3.3	PROFILE PLAN	3/6/2023	7/31/2023
SHEET C4.1	DRAINAGE & UTILITY	3/6/2023	7/31/2023
SHEET C4.2	DRAINAGE & UTILITY DETAILS	3/6/2023	7/31/2023
SHEET C5.1	SEDIMENTATION & EROSION CONTROL	3/6/2023	7/31/2023
SHEET C6.1	CONSTRUCTION DETAILS	3/6/2023	7/31/2023
SHEET C6.2	CONSTRUCTION DETAILS	3/6/2023	7/31/2023
SHEET C6.3	CONSTRUCTION DETAILS	3/6/2023	7/31/2023

§205-37C. CLUSTER HOUSING DIMENSIONAL STANDARDS

DESCRIPTION	REQUIRED
MIN. LOT AREA	15,000 SF*
MIN. FRONTAGE	50 FT
MIN. WIDTH	100 FT
MIN. FRONT YARD	30 FT
MIN. SIDE YARD	15 FT
MIN. REAR YARD	20 FT

* EXCEPT A LOT ABUTTING COMMON OPEN SPACE MAY NOT CONTAIN LESS THAN 10,000 SQUARE FEET.

§231-12N - PROJECT AREA BREAKDOWN ZONING: RESIDENTIAL I & RESIDENTIAL II

DESCRIPTION	PROVIDED
SUBDIVISION AREA	±28.03 AC.
NUMBER OF BUILDING LOTS	10 LOTS
AREA OF BUILDING LOTS	586,511 SF
AREA OF ROADWAY WITHIN SUBDIVISION	27,297 SF
AREA OF RIGHT OF WAY	±60,638 SF
LINEAR FEET OF ROAD	±907 FT*
AREA OF WETLANDS	12,564 SF
AREA OF OPEN SPACE	±13.17 AC.
NUMBER OF BOUNDS TO BE SET	14 BOUNDS

* DISTANCE IS TO END OF CUL-DE-SAC. DISTANCE OF ROADWAY IS 858- FEET PER MEASUREMENT SPECIFIED IN FIGURE 1A OF CHAPTER 231, SUBDIVISION OF LAND.

ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY
DATE APPROVED: _____
DATE ENDORSED: _____

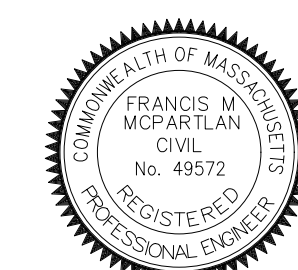
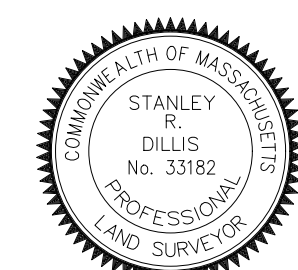
APPROVED SUBJECT TO CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith

NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE BOARD OF HEALTH

I ELLEN M. SHEEHAN CLERK OF THE TOWN OF WESTMINSTER HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED BY THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE.

WESTMINSTER TOWN CLERK DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



PROFESSIONAL LAND SURVEYOR DATE 7/21/23 PROFESSIONAL ENGINEER DATE 8/8/2023

DILLIS & ROY
CIVIL DESIGN GROUP

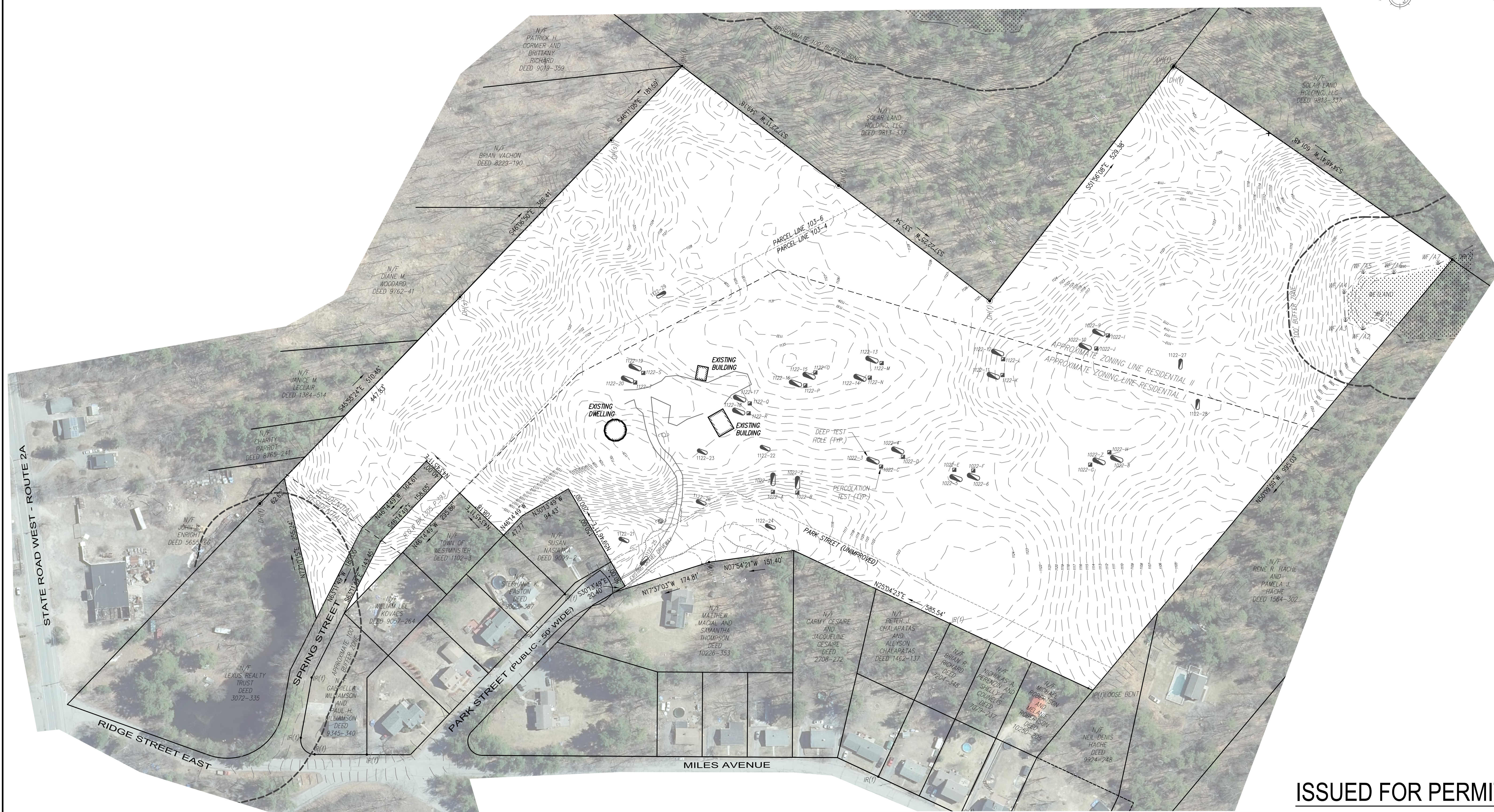
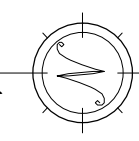
CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
CORPORATE OFFICE: 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 978-779-6091 www.dillisandroy.com
CONCORD OFFICE: 100 MAIN ST., SUITE 310 CONCORD, MA 01742

PLAN REVISIONS

NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
TITLE SHEET
PARK MEADOW
PARK STREET

DESIGN BY:	DRAWN BY:	CHECKED BY:	SHEET NO.
RWP	SBD/RWP	FMM	C1.1
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-TITLE	



ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW WESTMINSTER PLANNING BOARD

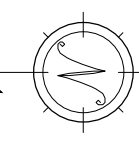
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I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



DILLIS & ROY CIVIL DESIGN GROUP. CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS. CORPORATE OFFICE: 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462. CONCORD OFFICE: 100 MAIN ST., SUITE 310 CONCORD, MA 01742. PLAN REVISIONS table with 4 columns: NO., DATE, DESCRIPTION, BY.

DEFINITIVE SUBDIVISION PLAN WESTMINSTER, MASSACHUSETTS EXISTING CONDITIONS PARK MEADOW. Scale: 1 in. = 80 ft. DESIGN BY: RWP, DRAWN BY: SBD/RWP, CHECKED BY: FMM, SHEET NO. C1.3



NOTE: SEE SHEET C2.2 & C2.3 FOR METES AND BOUNDS OF LOTS 1 THROUGH 10

ISSUED FOR PERMIT

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WESTMINSTER PLANNING BOARD

BEING A MAJORITY DATE APPROVED: _____ DATE ENDORSED: _____

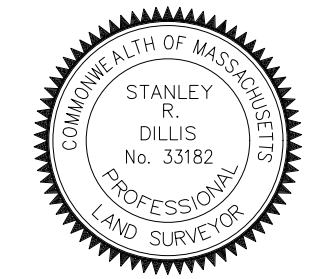
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WESTMINSTER TOWN CLERK _____ DATE _____

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Stanley R. Dillis 7/31/2023 PROFESSIONAL LAND SURVEYOR DATE

Francis M. McPartlan 8/8/2023 PROFESSIONAL ENGINEER DATE

DILLIS & ROY
 CIVIL DESIGN GROUP

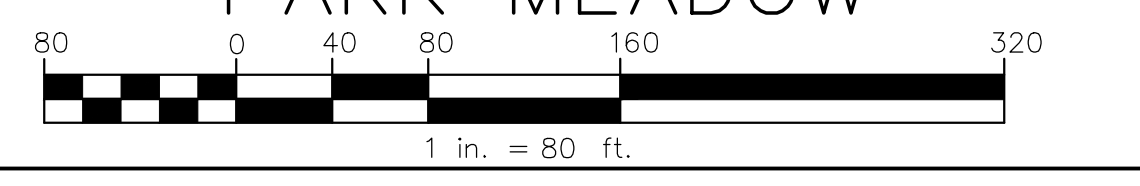
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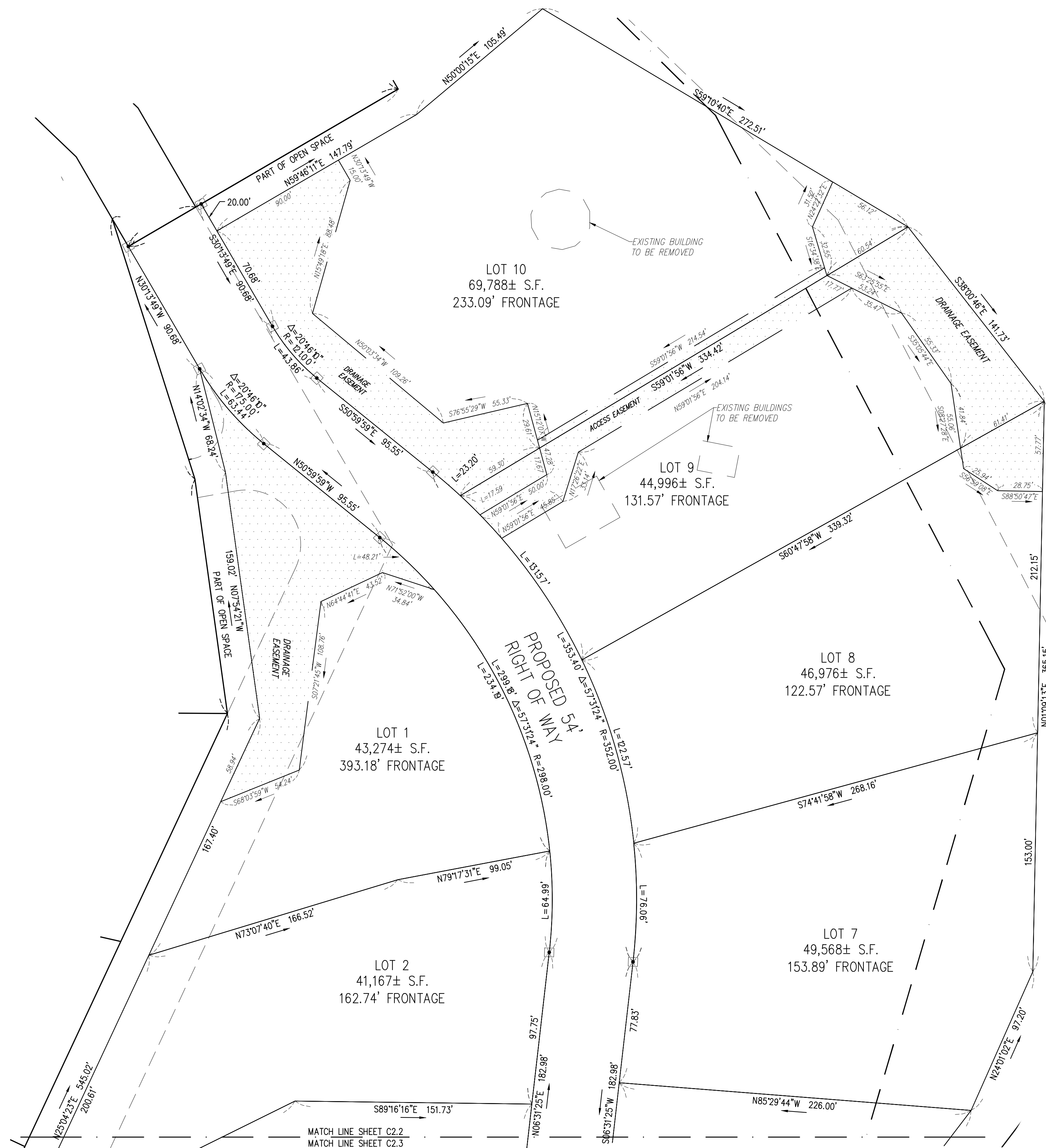
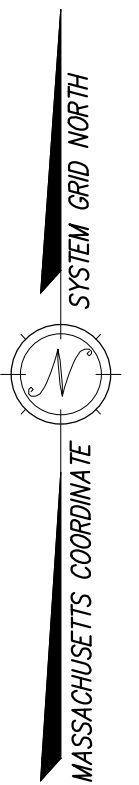
CONCORD OFFICE: 100 MAIN ST., SUITE 310 CONCORD, MA 01742

PLAN REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
 WESTMINSTER, MASSACHUSETTS
 LOT LAYOUT PLAN
 PARK MEADOW



DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C2.1
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-LAYOUT	



OPEN SPACE
573,997
13.17± ACRES

§205-37C. CLUSTER HOUSING DIMENSIONAL STANDARDS	
DESCRIPTION	REQUIRED
MIN. LOT AREA	15,000 SF*
MIN. FRONTAGE	50 FT
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* EXCEPT A LOT ABUTTING COMMON OPEN SPACE MAY NOT CONTAIN LESS THAN 10,000 SQUARE FEET.

NOTE: SEE SHEET C2.1 FOR METES AND BOUNDS OF OPEN SPACE

LEGEND
 PROPOSED CONCRETE BOUND PER SUBDIVISION REGULATIONS

ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY
 DATE APPROVED: _____
 DATE ENDORSED: _____

APPROVED SUBJECT TO CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HEREWITH

NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE BOARD OF HEALTH

I ELLEN M. SHEEHAN CLERK OF THE TOWN OF WESTMINSTER HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED BY THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE.

WESTMINSTER TOWN CLERK _____ DATE _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

STANLEY R. DILLIS
No. 33182
PROFESSIONAL LAND SURVEYOR

FRANCIS M. SPARILANO
No. 49572
PROFESSIONAL ENGINEER

PROFESSIONAL LAND SURVEYOR DATE _____ PROFESSIONAL ENGINEER DATE _____

DILLIS & ROY
CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

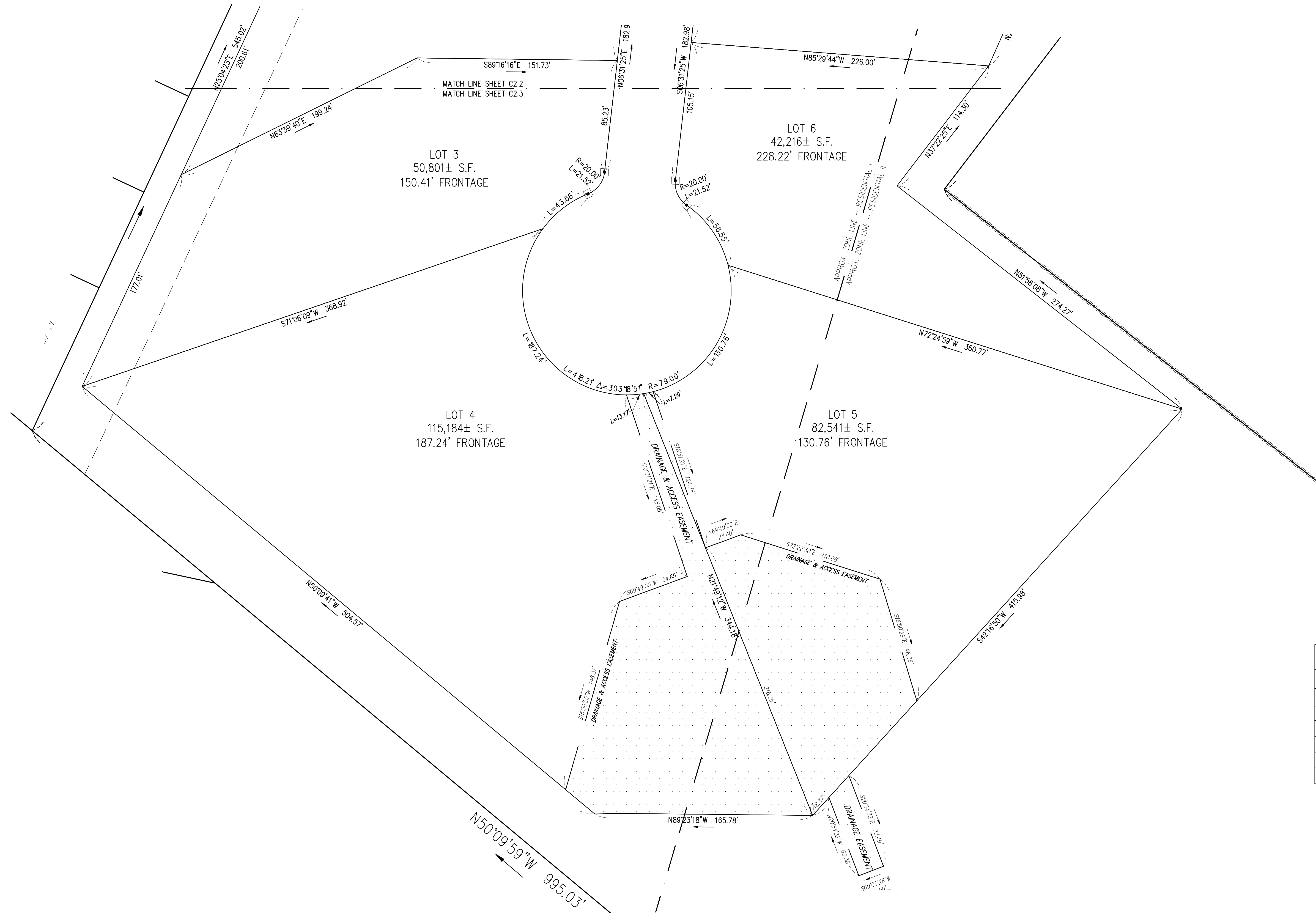
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DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
LOT LAYOUT PLAN
PARK MEADOW

DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C2.2
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-C2	



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 PROPOSED CONCRETE BOUND PER SUBDIVISION REGULATIONS

ISSUED FOR PERMIT

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APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY
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 DATE ENDORSED: _____

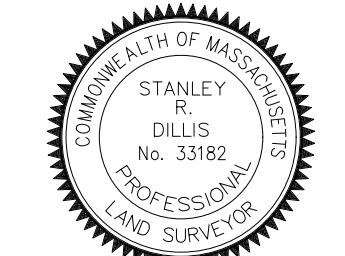
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WESTMINSTER TOWN CLERK DATE

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PROFESSIONAL LAND SURVEYOR DATE PROFESSIONAL ENGINEER DATE

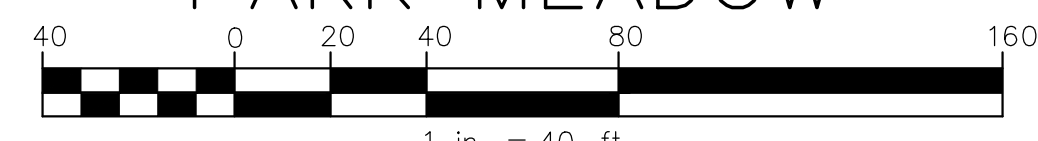
DILLIS & ROY
 CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

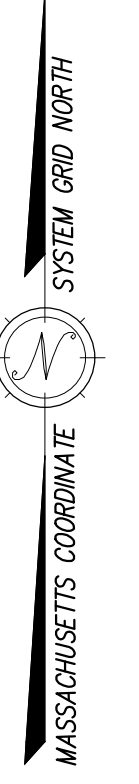
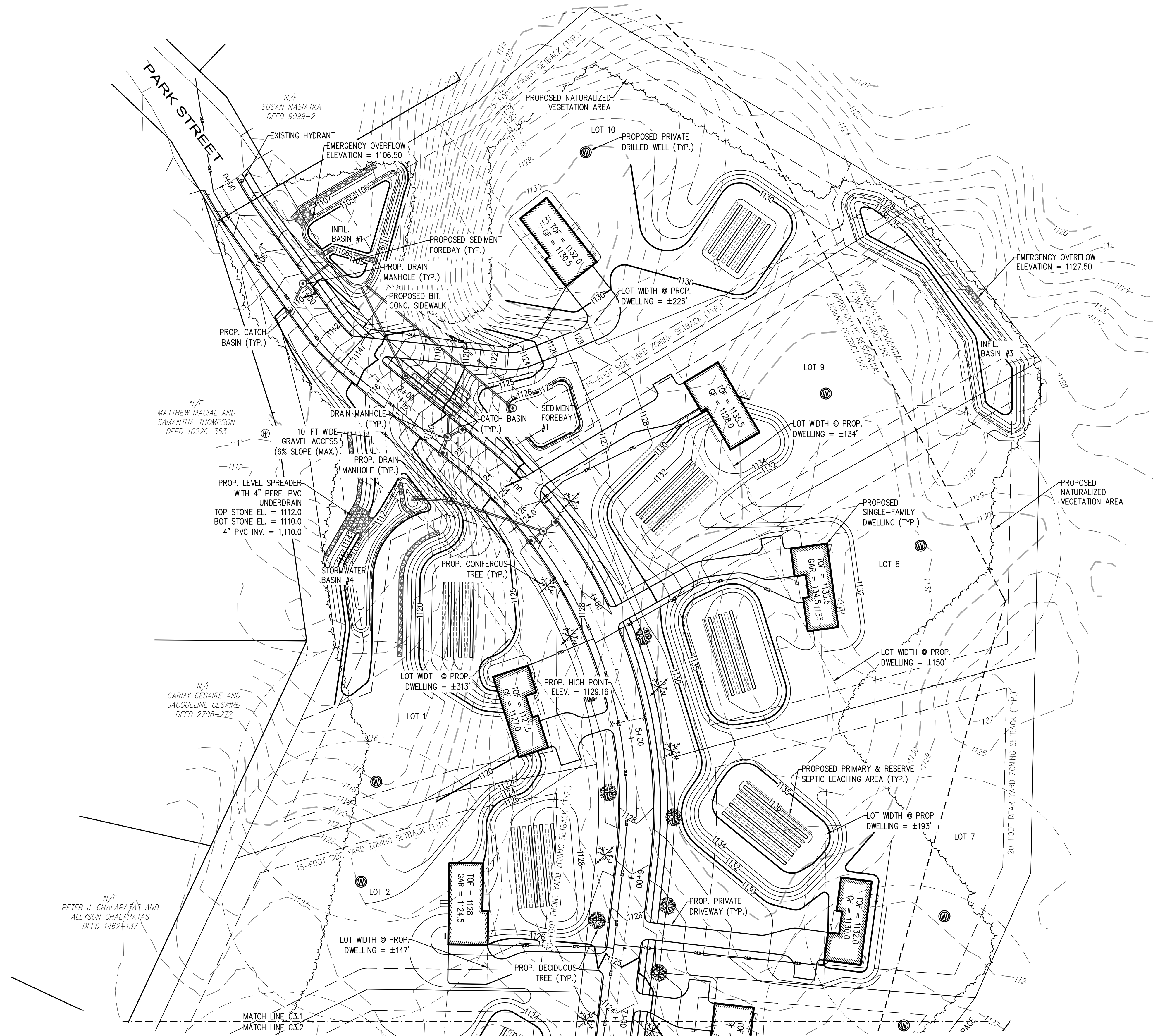
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PLAN REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
 WESTMINSTER, MASSACHUSETTS
 LOT LAYOUT PLAN
 PARK MEADOW



DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C2.3
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-LAYOUT	



ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY DATE APPROVED: _____ DATE ENDORSED: _____

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STANLEY R. DILLIS
No. 33182
REGISTERED PROFESSIONAL LAND SURVEYOR

FRANCIS M. MEARNS
No. 49572
REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL LAND SURVEYOR DATE 7/21/23 PROFESSIONAL ENGINEER DATE 8/8/2023

DILLIS & ROY
CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

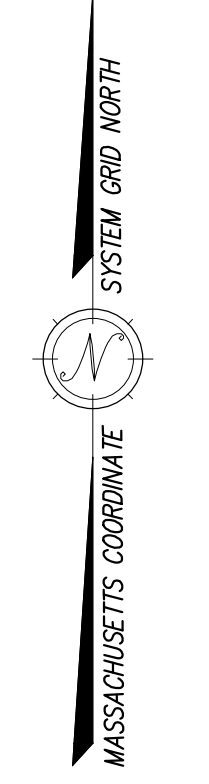
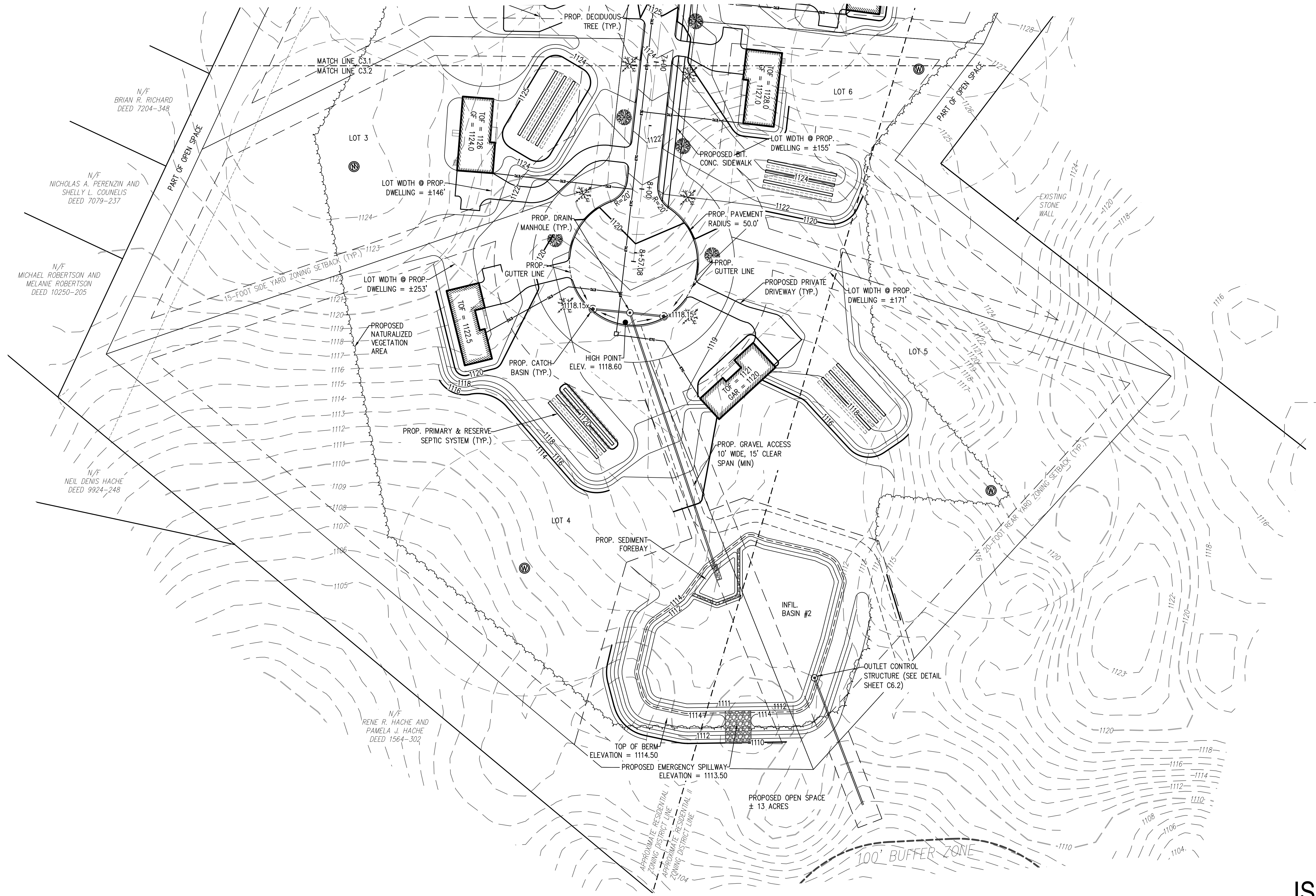
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NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
GRADING PLAN
PARK MEADOW

DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C3.1
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-GRADING	



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FRANCIS M. MCPARTLAN
No. 49572
PROFESSIONAL ENGINEER

PROFESSIONAL LAND SURVEYOR DATE PROFESSIONAL ENGINEER DATE

DILLIS & ROY
CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

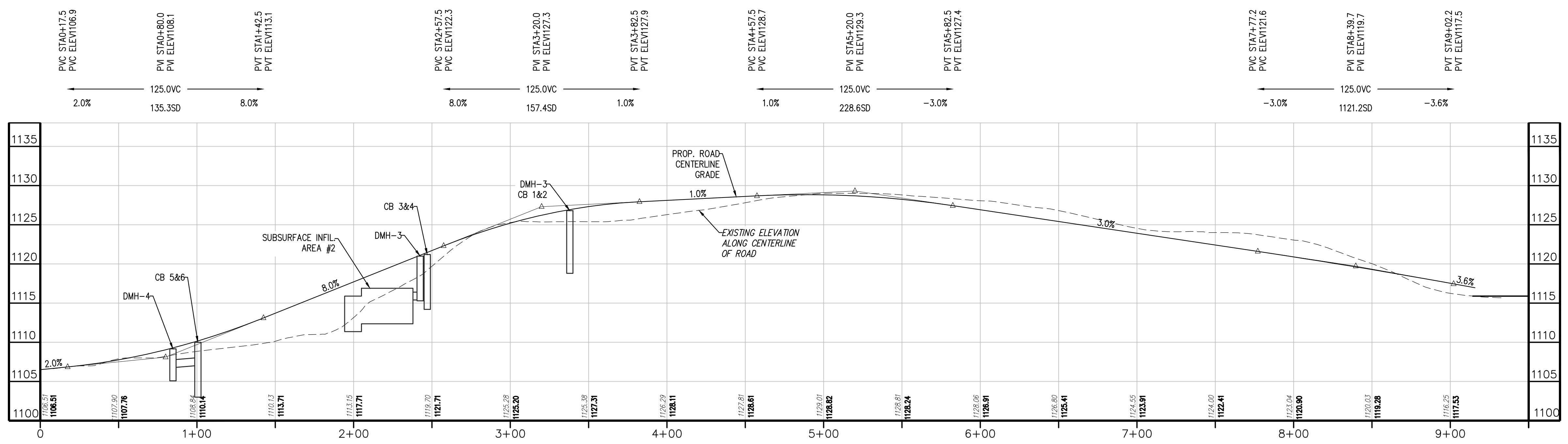
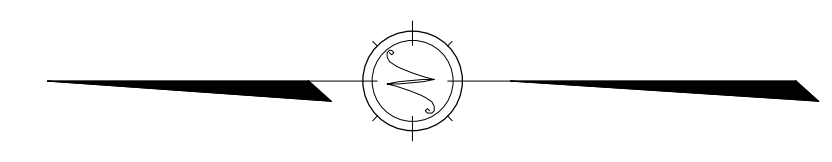
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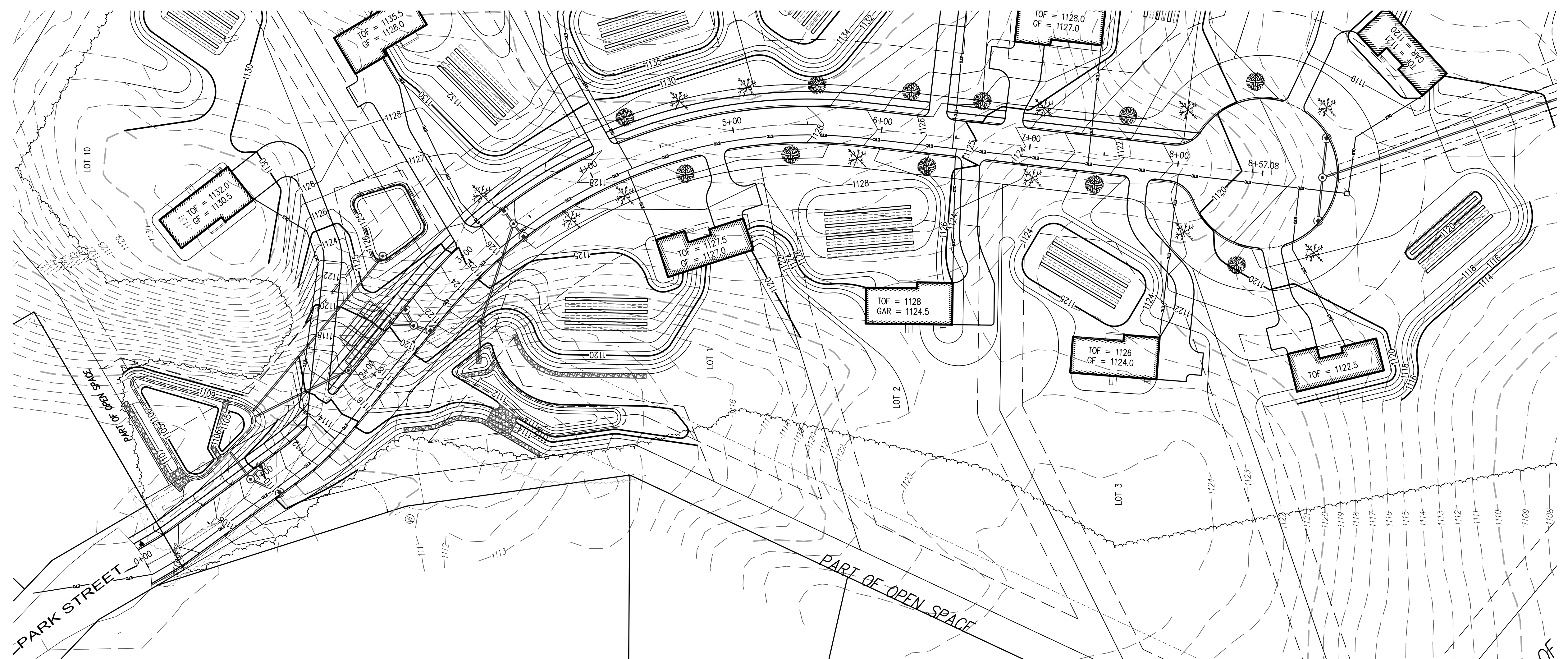
DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
GRADING PLAN
PARK MEADOW

1 in. = 40 ft.

DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C3.2
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-GRADING	



ROAD PROFILE
 SCALE: 1" = 40' (HOR.)
 1" = 8' (VERT.)



PLAN VIEW
 SCALE: 1" = 40'

ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY
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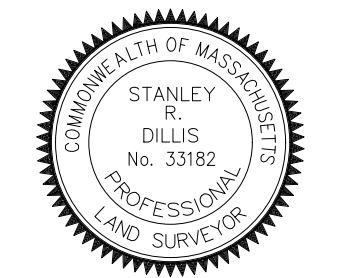
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 PROFESSIONAL LAND SURVEYOR DATE



 PROFESSIONAL ENGINEER DATE

DILLIS & ROY
 CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

CORPORATE OFFICE: 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 978-779-6091 www.dillisandroy.com

CONCORD OFFICE: 100 MAIN ST., SUITE 310 CONCORD, MA 01742

PLAN REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
 WESTMINSTER, MASSACHUSETTS
 GRADING & PROFILE PLAN
 PARK MEADOW

40 0 20 40 80 160
 1 in. = 40 ft.

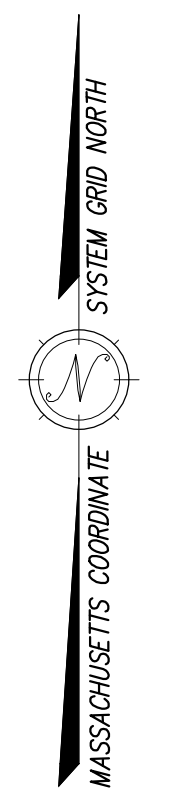
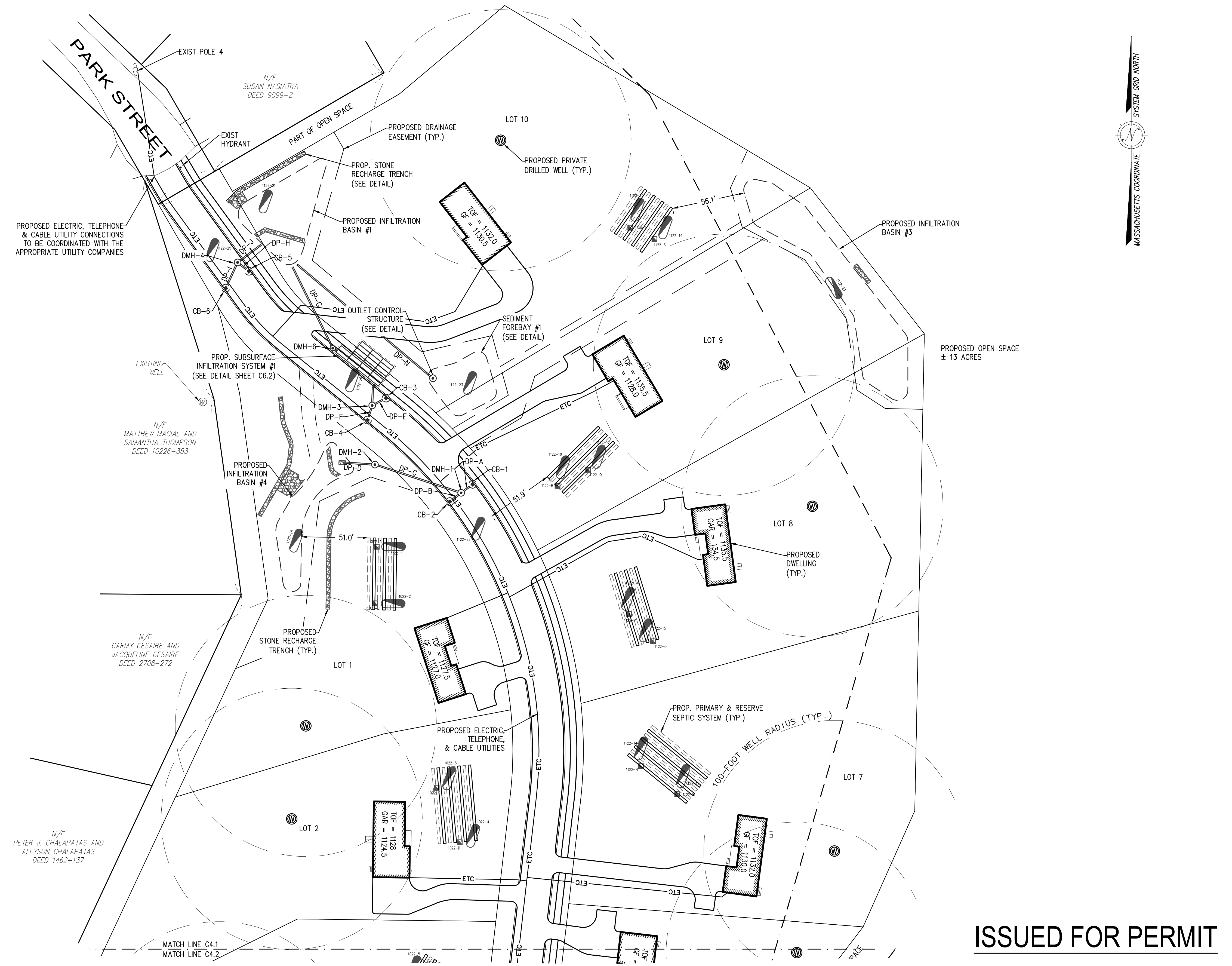
DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C3.3
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-GRADING	

DRAINAGE STRUCTURE SCHEDULE:

CB-1 PRECAST RC RIM = 1,126.80 12" HDPE INV. OUT=1,124.00 (DP-A)	DMH-1 PRECAST RC RIM = 1,127.00 12" HDPE INV. IN=1,123.80 (DP-A, DP-B) 12" HDPE INV. OUT=1,123.70 (DP-C)
CB-2 PRECAST RC RIM = 1,126.80 12" HDPE INV. OUT=1,124.00 (DP-B)	DMH-2 PRECAST RC RIM = 1,120.00 12" HDPE INV. IN=1,120.35 (DP-C) 12" HDPE INV. OUT=1,115.76 (DP-D)
CB-3 PRECAST RC RIM = 1,121.20 12" HDPE INV. OUT=1,118.20 (DP-E)	DMH-3 PRECAST RC RIM = 1,121.20 12" HDPE INV. IN=1,118.00 (DP-E, DP-F) 12" HDPE INV. OUT=1,117.90 (SUBSURFACE INFIL. #2)
CB-4 PRECAST RC RIM = 1,121.20 12" HDPE INV. OUT=1,118.20 (DP-F)	DMH-4 PRECAST RC RIM = 1,109.20 12" HDPE INV. IN=1,106.80 (DP-H, DP-I) 12" HDPE INV. OUT=1,106.70 (DP-J)
CB-5 PRECAST RC RIM = 1,110.00 12" HDPE INV. OUT=1,107.00 (DP-H)	DMH-5 PRECAST RC RIM = 1,118.15 12" HDPE INV. IN=1,114.63 (DP-K) 12" HDPE INV. IN=1,114.57 (DP-L) 12" HDPE INV. OUT=1,114.20 (DP-M)
CB-6 PRECAST RC RIM = 1,110.00 12" HDPE INV. OUT=1,107.00 (DP-I)	DMH-6 PRECAST RC RIM = 1,118.15 12" HDPE INV. IN=1,112.40 (SUBSURFACE INFIL. #1) 12" HDPE INV. OUT=1,112.30 (INFIL. BASIN #1)
CB-7 PRECAST RC RIM = 1,118.15 12" HDPE INV. OUT=1,115.15 (DP-K)	
CB-8 PRECAST RC RIM = 1,118.15 12" HDPE INV. OUT=1,115.15 (DP-L)	

SOIL TEST DATA							
DEPT. TEST PIT:	DEPTH	HOR.	TEX.	COLOR	MOTT.	G.W.	OTHER
1122-21	0-8"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	8-23"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	23-36"	C1	L.S.	2.5Y 6/3	NONE	NONE	GRANULAR, FRABLE
	36-92"	C2	L.S.	2.5Y 6/4	40°	92"	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 40" (ELEVATION = 1102.74)							
1122-22	0-14"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	14-30"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	30-44"	C1	L.S.	2.5Y 6/3	NONE	NONE	GRANULAR, FRABLE
	44-106"	C2	L.S.	2.5Y 6/4	48°	106"	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 48" (ELEVATION = 1125.54)							
1122-23	0-8"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	8-26"	B	SL	10R/ 5/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	26-30"	C1	L.S.	2.5Y 6/4	80°	30"	GRANULAR, FRABLE
	30-96"	C2	L.S.	2.5Y 6/4	40°	94"	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 36" (ELEVATION = 1127.04)							
1122-24	0-10"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	10-25"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	25-36"	C1	L.S.	2.5Y 6/3	NONE	NONE	GRANULAR, FRABLE
	36-96"	C2	L.S.	2.5Y 6/4	36°	94"	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 36" (ELEVATION = 1124.04)							
1122-25	0-10"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	10-24"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	24-36"	C1	L.S.	2.5Y 6/3	NONE	NONE	GRANULAR, FRABLE
	36-96"	C2	L.S.	2.5Y 6/4	40°	96"	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 40" (ELEVATION = 1104.74)							
1122-26	0-9"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	9-37"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	37-44"	C1	L.S.	2.5Y 6/3	NONE	NONE	GRANULAR, FRABLE
	44-106"	C2	L.S.	2.5Y 6/4	48°	NONE	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 48" (ELEVATION = 1112.04)							
1122-27	0-8"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	8-24"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	24-36"	C1	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
	36-96"	C2	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 36" (ELEVATION = 1108.54)							
1122-28	0-10"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	10-25"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	25-36"	C1	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
	36-96"	C2	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 36" (ELEVATION = 1108.54)							
1122-29	0-10"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	10-24"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	24-36"	C1	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
	36-96"	C2	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 36" (ELEVATION = 1124.04)							
1122-01	0-10"	A	SL	10R/ 3/2	NONE	NONE	CRUMB, FRABLE
11/3/22	10-24"	B	SL	10R/ 4/6	NONE	NONE	S.A.B., FRABLE
REFUSAL AT:	24-36"	C1	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
	36-96"	C2	L.S.	2.5Y 6/4	36°	NONE	GRANULAR, FRABLE
ESTIMATED SEASONAL HIGH GROUND WATER AT 36" (ELEVATION = 1124.04)							

SEE SEWAGE DISPOSAL SYSTEM DESIGN PLANS FOR TEST HOLE DATA WITHIN PROPOSED SOIL ABSORPTION SYSTEMS



ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY
DATE APPROVED: _____
DATE ENDORSED: _____

APPROVED SUBJECT TO CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith

NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE BOARD OF HEALTH

I ELLEN M. SHEEHAN CLERK OF THE TOWN OF WESTMINSTER HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED BY THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE.

WESTMINSTER TOWN CLERK _____ DATE _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

PROFESSIONAL LAND SURVEYOR DATE _____ PROFESSIONAL ENGINEER DATE _____

DILLIS & ROY
CIVIL DESIGN GROUP

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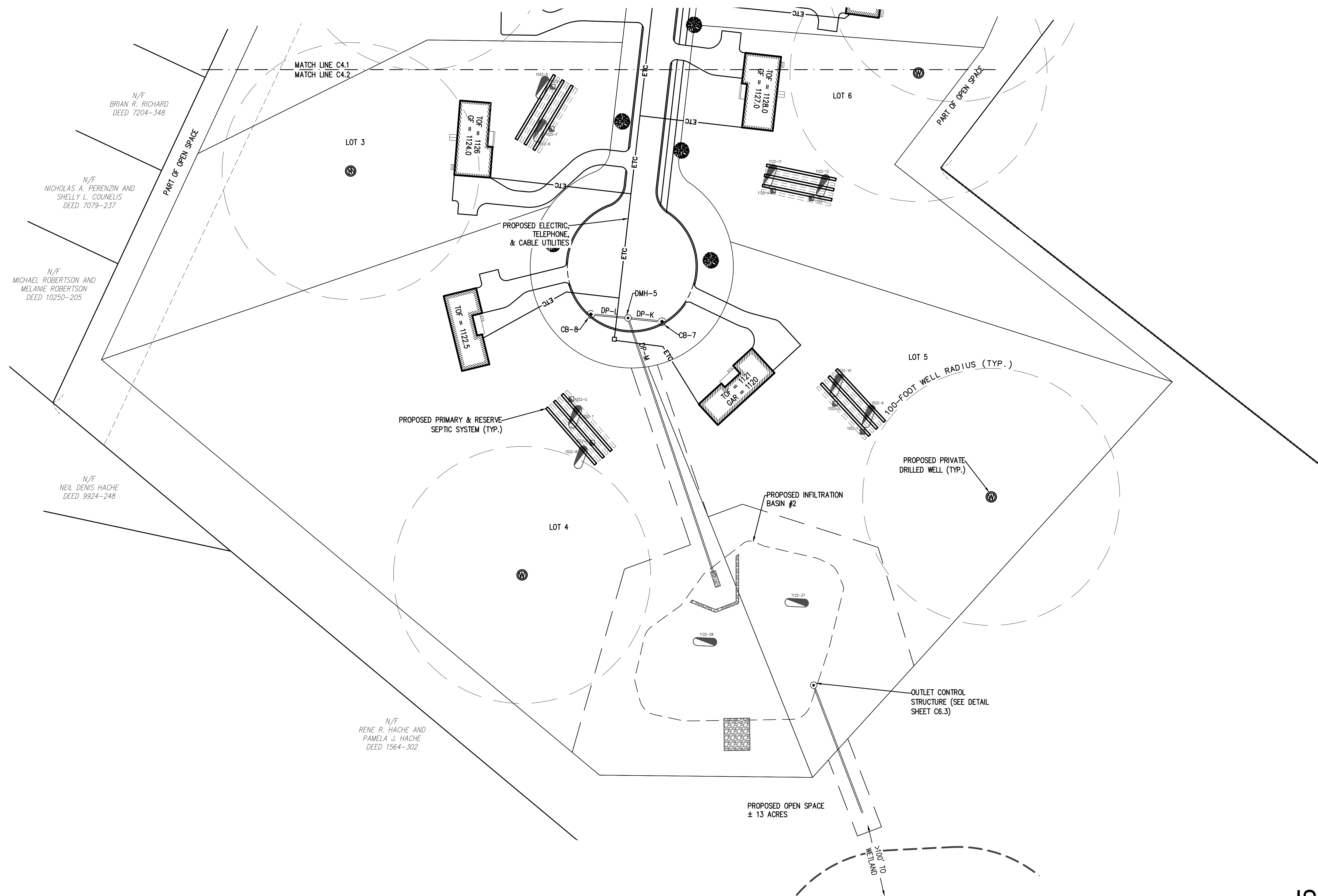
CONCORD OFFICE: 100 MAIN ST., SUITE 310 CONCORD, MA 01742

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NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
DRAINAGE & UTILITY PLAN
PARK MEADOW

1 in. = 40 ft.

DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C4.1
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-UTILITY	



ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER
THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY
DATE APPROVED: _____
DATE ENDORSED: _____

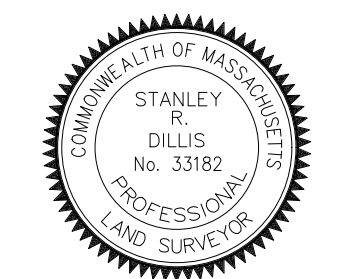
APPROVED SUBJECT TO CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith


NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE BOARD OF HEALTH

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WESTMINSTER TOWN CLERK _____ DATE _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS





Professional Land Surveyor DATE 7/31/23 Professional Engineer DATE 8/10/2023

DILLIS & ROY
CIVIL DESIGN GROUP

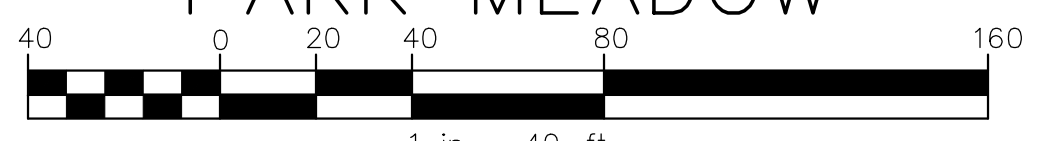
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PLAN REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
DRAINAGE & UTILITY PLAN
PARK MEADOW



DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C4.2
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-UTILITY	

EROSION CONTROL NOTES:

A. MANAGEMENT STRATEGIES:

- CONSTRUCTION SHALL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE ON SITE.
- AREAS WHICH ARE NOT TO BE DISTURBED SHALL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC. RETAIN EXISTING VEGETATION WHERE FEASIBLE.
- THERE SHALL BE NO STORAGE OF ANY KIND OF ANY CHEMICALS, PESTICIDES, FUELS AND OTHER POTENTIALLY TOXIC OR HAZARDOUS MATERIALS ON SITE.
- NO DEBRIS, JUNK, RUBBISH OR OTHER WASTE MATERIALS SHALL BE BURIED ON THE SITE.
- STUMPS AND OTHER WOOD DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE "POLICY ON THE DISPOSAL OF WOODWASTES" PUBLISHED BY THE DEPARTMENT OF ENVIRONMENTAL AFFAIRS, DATED AUGUST 14, 1987.
- THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.

B. MAINTENANCE/ PERFORMANCE STANDARDS:

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL WITH AN ACCUMULATION OF 1/2" OR MORE. THE FOLLOWING ITEMS SHALL BE CHECKED IN PARTICULAR:

- THE EROSION CONTROL BARRIER SHALL BE CHECKED REGULARLY FOR TEARS, DETERIORATION, AND UNDERMINING.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE RESEDED AS NEEDED.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO THE PUBLIC ROAD. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 INCH STONE AS CONDITIONS DEMAND AND OR CLEANOUT/REPLACEMENT OF STONE IF CLOGGING OR SEDIMENTATION OCCURS. ALL MATERIALS SPILLED DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO THE TOWN ROAD MUST BE REMOVED DAILY BY SWEEPING OR OTHER SUITABLE MEANS.
- ALL AREAS ON SITE SUBJECT TO EROSION/SEDIMENTATION SHALL BE INSPECTED ON A REGULAR BASIS. ALL ITEMS SPECIFIED ON THIS AND OTHER PLANS SHALL BE INSPECTED TO VERIFY THAT THEY ARE OPERATING AS DESIGNED AND INTENDED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN AND REPAIR ALL STRUCTURES.
- THE ENTIRE DRAINAGE SYSTEM SHALL BE INSPECTED ON A REGULAR BASIS AND PRIOR TO AND IMMEDIATELY AFTER ANY RAINFALL EVENT WHILE THE SITE IS DISTURBED.
 - DRAINAGE SWALES DURING CONSTRUCTION SHALL BE INSPECTED MONTHLY FOR EROSION, SEDIMENT ACCUMULATION AND LEAF BUILDUP. ALL ERODED AREAS SHALL BE STABILIZED. SEDIMENT SHALL BE REMOVED AND LEAF LITTER REMOVED.
 - DEWATERING OF EXCAVATIONS DURING CONSTRUCTION SHALL BE ADDRESSED ON AN INDIVIDUAL BASIS AS NEEDED. IF TEMPORARY DEWATERING IS REQUIRED ON THE SITE OR IN CLOSE PROXIMITY TO THE 100 FT BUFFER ZONE, SEDIMENT BASINS SHALL BE CONSTRUCTED OR SILT TRAPS SHALL BE UTILIZED. SILT TRAPS AND SEDIMENT BASINS SHALL BE MAINTAINED DURING THE DEWATERING OPERATION.

C. TEMPORARY MEASURES:

- PLACE STRAW WATTLES AS SHOWN ON THE EROSION CONTROL PLAN. STRAW WATTLES SHALL BE COMPOST FILTER SOCKS WITH UV DEGRADABLE SOCK MATERIAL.
- IF LOAM IS PLACED OUTSIDE OF THE NORMAL GROWING SEASON SILT FENCE OR STRAW WATTLES SHALL BE PLACED BETWEEN THE LAWN AREA AND PAVEMENT.
- CONSTRUCT TEMPORARY STONE PAD AT EXIT TO THE SITE AS SHOWN ON THIS PLAN.
- DURING DRY PERIODS, PROVIDE MEANS FOR MITIGATION OF DUST, SUCH AS WATERING OF EXPOSED AREAS.
- STOCKPILE LOCATIONS SHALL BE WITHIN THE PROPOSED LIMIT OF WORK. PLACE STRAW WATTLES AROUND ALL STOCK PILE AREAS THAT ARE NOT ACTIVELY BEING USED. PILES LEFT FOR 21 DAYS OR MORE SHALL BE SEEDED OR COVERED WITH PLASTIC SHEETING.
- WASTE DISPOSAL RECEPTACLES AND TRAILERS WILL BE USED FOR THE DISPOSAL OF CONSTRUCTION DEBRIS, WHICH WILL BE REMOVED FROM THE SITE ACCORDING TO STATE, LOCAL AND FEDERAL GUIDELINES. CONSTRUCTION DEBRIS WILL INCLUDE PAVEMENT, UTILITY, EARTH AND BUILDING MATERIALS THAT CANNOT BE REUSED. THE RECEPTACLES WILL BE LOCATED ON-SITE AND COVERED.
- PLACE STRAW BALES AROUND CATCH BASINS AND OTHER STORM DRAIN INLETS AFTER CONSTRUCTION. CATCH BASIN INSERTS MAY BE USED IN AREAS WHERE MANEUVERABILITY AROUND APPURTENANCES IS AN ISSUE.
- INSTALL SILT SACKS IN PROPOSED CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED. GRATE TO BE PLACED OVER SILT SACK. SILT SACK SHALL BE INSPECTED PERIODICALLY (BI-WEEKLY AND AFTER ALL STORM EVENTS) AND SHALL BE CLEANED OR REPLACED IF NECESSARY.

D. PERMANENT STABILIZATION:

- SLOPES IN EXCESS OF 3 TO 1 SHALL BE HYDRO-MULCHED. LOAMED (4" MIN.) AND SEEDED SLOPES WILL BE PROTECTED FROM WASHOUT BY MULCHING OR OTHER ACCEPTABLE SLOPE PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- SEED MIX IN THE SEDIMENT FOREBAYS SHALL CONSIST OF NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES AS SPECIFIED BY NEW ENGLAND WETLAND PLANTS, INC. (OR EQUAL).
- SLOPES STEEPER THAN 3 TO 1 SHALL BE RESTORED WITH 6" OF LOAM (MIN.), SEED, FERTILIZER AND STAKED DOWN EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC 150 BN, OR EQUAL). INSTALL IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- THE TEMPORARY MEASURES WILL NOT BE REMOVED UNTIL PERMANENT STABILIZATION HAS OCCURRED.
- DESIGNATED RECHARGE AREAS SHALL BE PROTECTED FROM COMPACTION OF SOILS DURING AND AFTER CONSTRUCTION.
- ALL TREES MUST BE TWO INCHES IN DIAMETER AT A HEIGHT FOUR FEET ABOVE THE GROUND AT THE TIME OF PLANTING.

E. CONSTRUCTION SEQUENCE:

DURING THIS SEQUENCE ALL EROSION CONTROLS SHALL BE INSPECTED AND MAINTAINED. ALL DISTURBED AREAS SHALL BE STABILIZED BY SEEDING OR SOODING AS SOON AS POSSIBLE AFTER GRADING IS COMPLETE. EROSION BARRIERS SHALL BE REMOVED AFTER SLOPE STABILIZATION IS COMPLETE.

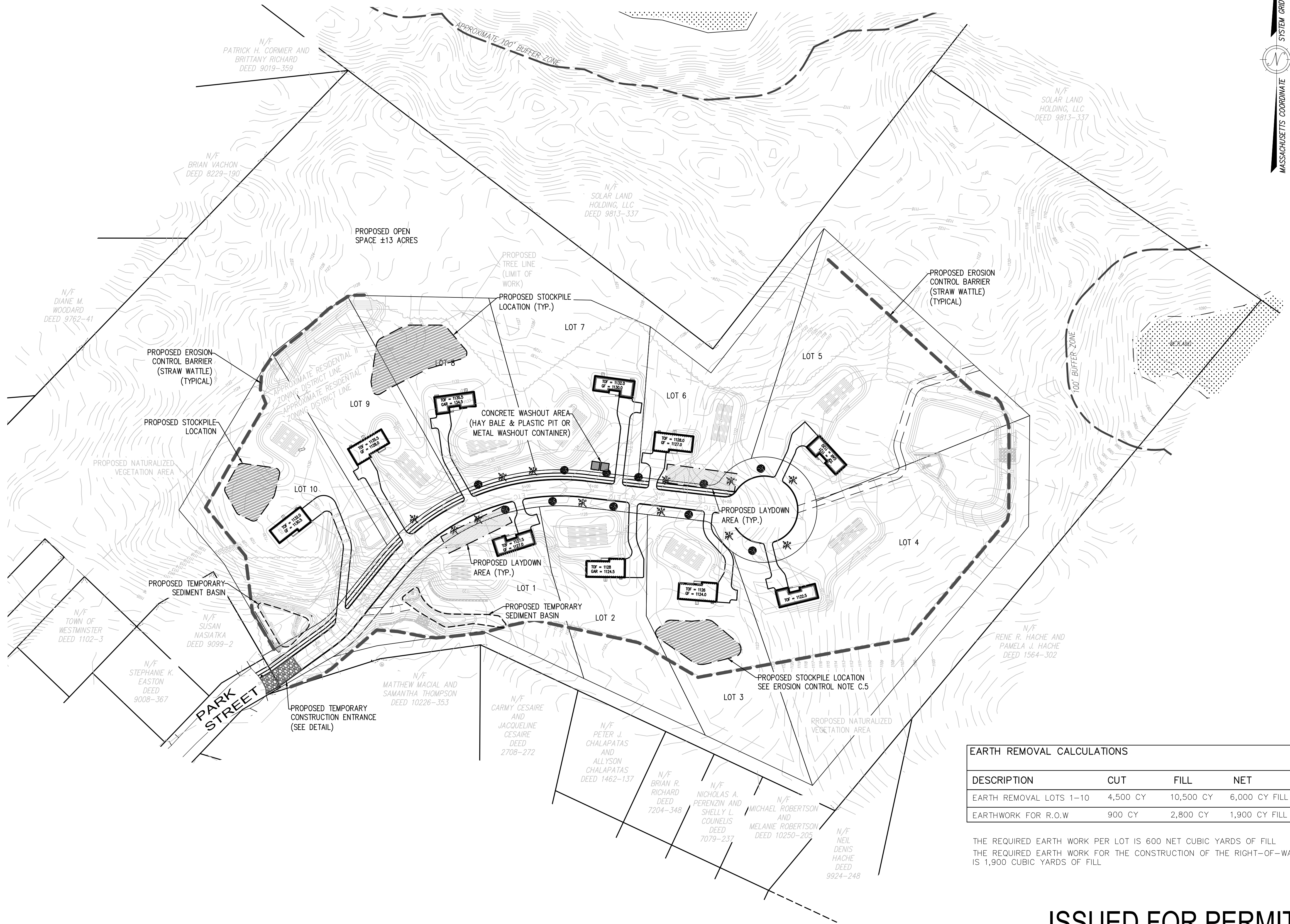
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
- DELINEATE AND FENCE UNDERGROUND INFILTRATION AREAS.
- EXCAVATE TO SUBGRADE IN CUT SECTIONS; BRING FILL SECTIONS TO SUBGRADE USING EXCAVATED SOIL.
- INSTALL BUILDING FOUNDATION, UNDERGROUND UTILITIES, AND BUILDING PAD. UTILITIES INCLUDE DRAINAGE SYSTEM, WATER, GAS AND ELECTRICAL UTILITIES.
- PLACE COMPACTED BASE GRAVEL FOR THE PAVED AREAS; ROUGH GRADE AREAS TO BE LOAMED AND SEEDED.
- INSTALL PAVEMENT.
- FINALIZE GRADING, LOAM, SEED AND MULCH DISTURBED AREAS.
- PLANT TREES, SHRUBS AND GROUND COVER AS INDICATED ON LANDSCAPE PLAN.

F. DEWATERING:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEWATERING OPERATIONS DURING CONSTRUCTION.
- DEWATERING SHALL BE PERFORMED TO ACHIEVE CONSTRUCTION OF FOOTINGS, FOUNDATIONS, PAVEMENTS, AND OTHER SUBSURFACE UTILITIES AND APPURTENANCES IN DRY CONDITIONS.
- DEWATERING SHALL BE PERFORMED THROUGH THE USE OF IN TRENCH SUMP PUMPS, WELLS, DRAINS AND OTHER ITEMS NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL FURNISH, INSTALL, MAINTAIN, OPERATE AND REMOVE ALL DEWATERING DEVICES AND APPURTENANCES AS REQUIRED FOR CONSTRUCTION. SUCH ACTIVITIES SHALL BE INCLUDED IN THE CONTRACTORS BID.
- THE FLOW FROM DEWATERING PUMPS SHALL BE DISCHARGED TO A SEDIMENTATION TRAP OR DEVICE PRIOR TO DISCHARGE TO A RESOURCE AREA. REFER TO THE DETAILS ON THIS PLAN.

G. STORMWATER MANAGEMENT AREAS:

- THE AREA PLANNED FOR THE STORMWATER MANAGEMENT AREAS SHOULD BE ROPED OFF TO PREVENT HEAVY EQUIPMENT FROM COMPACTING THE UNDERLYING SOILS BEFORE THE DEVELOPMENT SITE IS GRADED.
- EXCAVATION SHALL BE LIMITED TO WITHIN ONE FOOT OF THE FINAL DESIGN ELEVATION OF THE STORMWATER MANAGEMENT AREA FLOOR IF IT IS TO BE USED AS A TEMPORARY SEDIMENT BASIN DURING THE CONSTRUCTION PHASE. THE SEDIMENT THAT ACCUMULATES DURING THE CONSTRUCTION PHASE CAN THEN BE REMOVED BEFORE THE BASIN UNDERGOES FINAL EXCAVATION AT THE COMPLETION OF THE DEVELOPMENT. IF THE BASIN IS NOT INTENDED FOR SEDIMENT CONTROL, DIVERSION BERMS SHALL BE PLACED AROUND ITS PERIMETER DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE BASIN. ACTUAL CONSTRUCTION OF THE BASIN SHOULD BEGIN ONLY AFTER THE SITE HAS BEEN COMPLETELY STABILIZED.
- TO PREVENT COMPACTION OF THE SUBSOIL WHICH WILL REDUCE ITS INFILTRATION CAPACITY, STORMWATER MANAGEMENT AREAS SHALL BE EXCAVATED WITH LIGHT EARTH MOVING EQUIPMENT, PREFERABLY WITH TRACKS OR OVER-SIZED TIRES RATHER THAN THE NORMAL RUBBER TIRES. ONCE THE FINAL CONSTRUCTION PHASE IS REACHED, THE FLOOR OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND SMOOTHED OVER WITH A LEVELING DRAG OR EQUIVALENT GRADING EQUIPMENT.
- AFTER THE BASIN FLOOR IS SHAPED, PLACE SOIL ADDITIVES ON THE BASIN FLOOR TO AMEND THE SOIL. ADDITIVES SHALL INCLUDE COMPOST, PROPERLY AGED TO KILL AND SEED STOCK CONTAINED WITHIN THE COMPOST. DO NOT PUT BIOSOLIDS IN THE COMPOST. MIX MATHE SOILS THAT WERE EXCAVATED FROM THE A OR B HORIZONS TO CREATE THE BASIN WITH COMPOST, AND THEN SCAREEY THE NATIVE MATERIALS AND COMPOST INTO THE PARENT MATERIAL USING A CHISEL PLOW OR ROTARY DEVICE TO A DEPTH OF 12-INCHES. IMMEDIATELY AFTER CONSTRUCTION OF THE BASIN, STABILIZE BOTTOM AND SIDE-SLOPES WITH LOW MAINTENANCE, RAPIDLY GERMINATING GRASSES (I.E. FESCUES), CAPABLE OF SURVIVING BOTH WET AND DRY CONDITIONS. SOIL IS PROHIBITED.
- THE TOP OF THE ABOVE GROUND STORMWATER MANAGEMENT AREAS BERM SHALL BE SEEDED WITH NEW ENGLAND CONSERVATION/WILDLIFE MIX AS SPECIFIED BY NEW ENGLAND WETLAND PLANTS (OR EQUAL).



EARTH REMOVAL CALCULATIONS			
DESCRIPTION	CUT	FILL	NET
EARTH REMOVAL LOTS 1-10	4,500 CY	10,500 CY	6,000 CY FILL
EARTHWORK FOR R.O.W	900 CY	2,800 CY	1,900 CY FILL

THE REQUIRED EARTH WORK PER LOT IS 600 NET CUBIC YARDS OF FILL. THE REQUIRED EARTH WORK FOR THE CONSTRUCTION OF THE RIGHT-OF-WAY IS 1,900 CUBIC YARDS OF FILL.

ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY DATE APPROVED: _____ DATE ENDORSED: _____

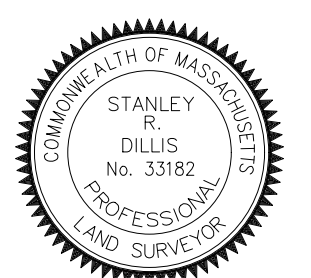
APPROVED SUBJECT TO CONDITIONS SET FORTH IN A COVENANT EXECUCED BY _____ DATED _____ AND TO BE RECORDED HERewith


NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE BOARD OF HEALTH

I ELLEN M. SHEEHAN CLERK OF THE TOWN OF WESTMINSTER HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED BY THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE.

WESTMINSTER TOWN CLERK _____ DATE _____

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS





PROFESSIONAL LAND SURVEYOR DATE 7/31/2023

PROFESSIONAL ENGINEER DATE 8/8/2023

DILLIS & ROY
CIVIL DESIGN GROUP


CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS

CORPORATE OFFICE: 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 978-779-6091 www.dillisandroy.com

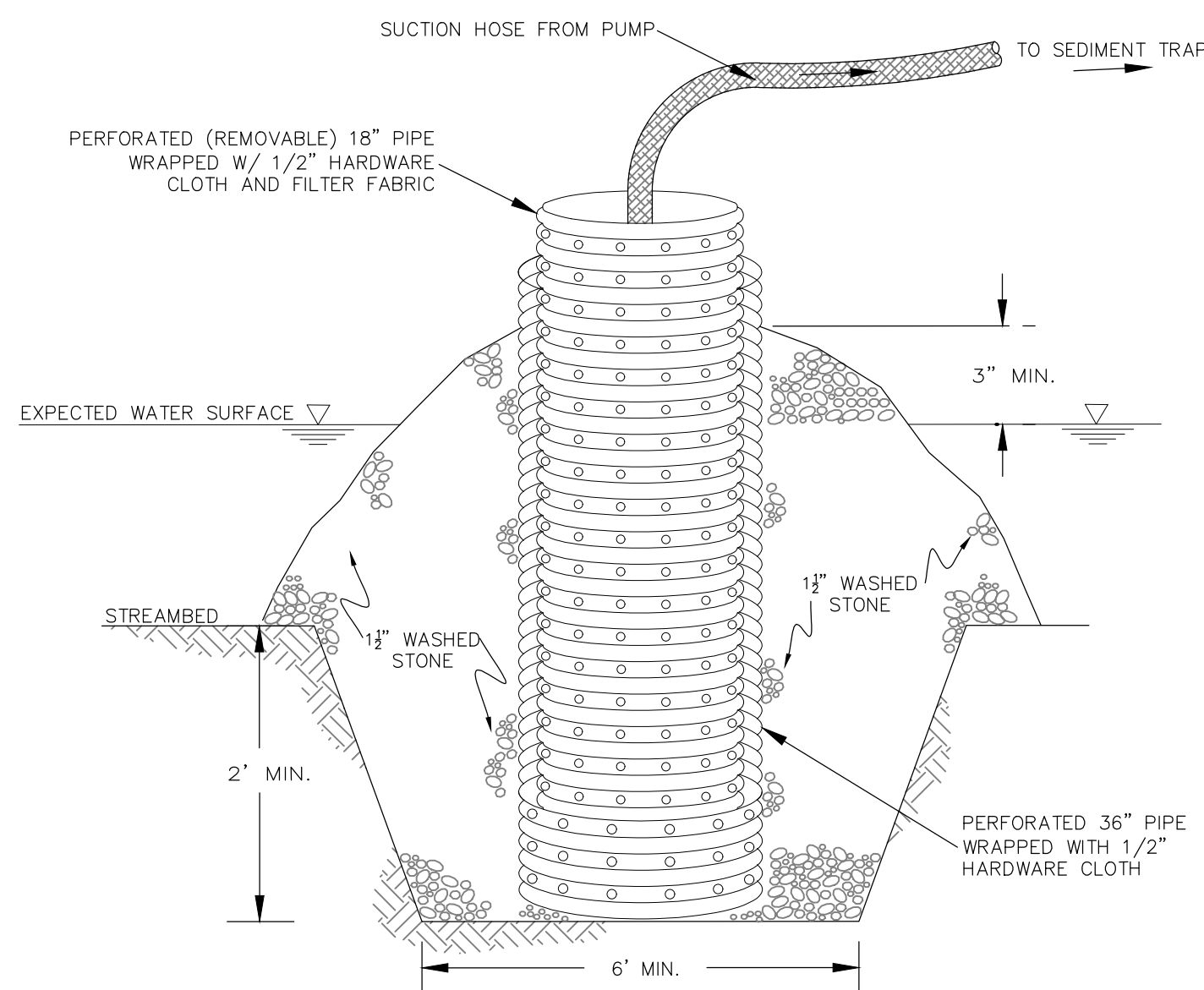
CONCORD OFFICE: 100 MAIN ST., SUITE 310 CONCORD, MA 01742

PLAN REVISIONS			
NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
SEDIMENTATION & EROSION CONTROL
PARK MEADOW



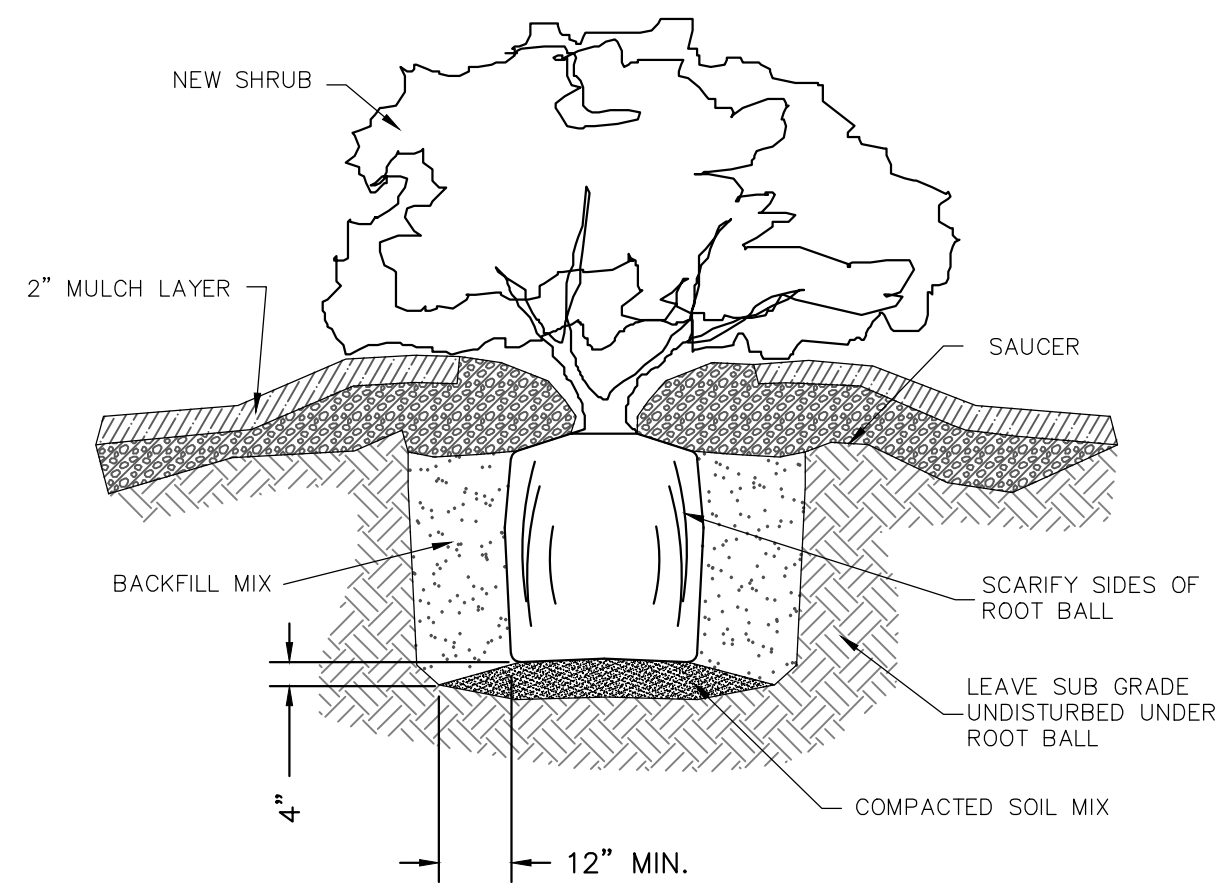
DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C5.1
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-EROSION	



- NOTES:
1. THE OUTER PIPE SHALL BE A 30" DIA. CORRUGATED METAL OR HDPE PIPE. THE OUTER PIPE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH TO PREVENT BACKFILL MATERIAL FROM ENTERING THE PERFORATIONS. AFTER INSTALLING THE OUTER PIPE, BACKFILL AROUND OUTER PIPE WITH 1 1/2" WASHED STONE.
 2. THE INSIDE STANDPIPE (CENTER PIPE) SHOULD BE CONSTRUCTED BY PERFORATING AN 18" CORRUGATED METAL, HDPE OR PVC PIPE. THE PERFORATIONS SHALL BE 1" DIAMETER HOLES 6" ON CENTER. THE CENTER PIPE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH FIRST, THEN WRAPPED AGAIN WITH FILTER FABRIC (MIRAFI 140N OR EQUAL).
 3. THE CENTER PIPE SHOULD EXTEND 12" TO 18" ABOVE THE ANTICIPATED WATER SURFACE ELEVATION OR RISER CREST ELEVATION WHEN DEWATERING A BASIN.

REMOVABLE DEWATERING PUMPING STATION (IF NECESSARY)

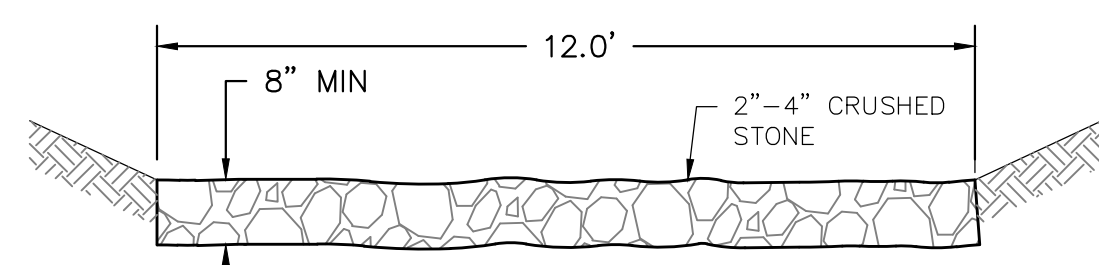
NOT TO SCALE



SHRUB PLANTING DETAIL

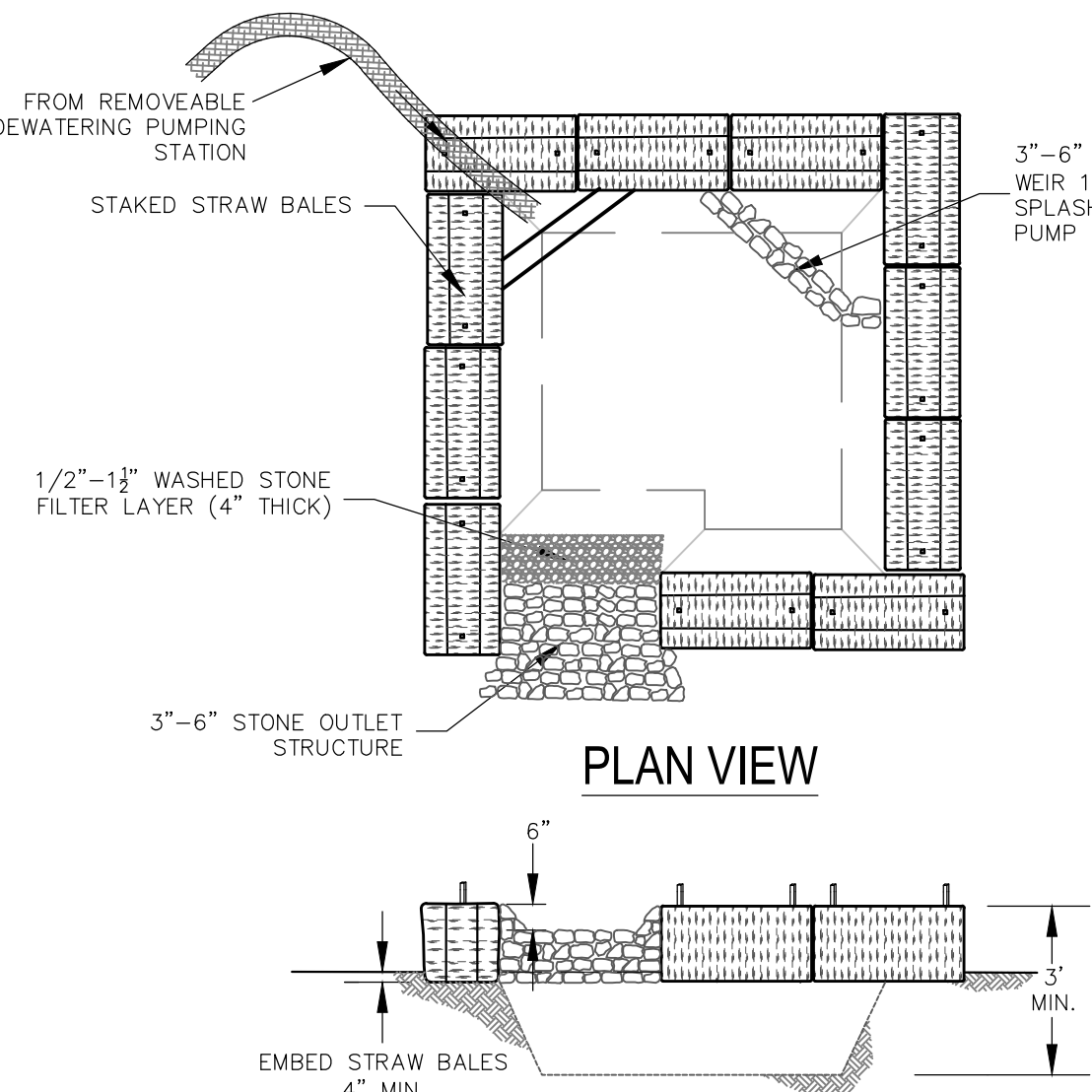
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NOTE:
LENGTH = 30' MINIMUM
SEE PLAN FOR LOCATION(S)



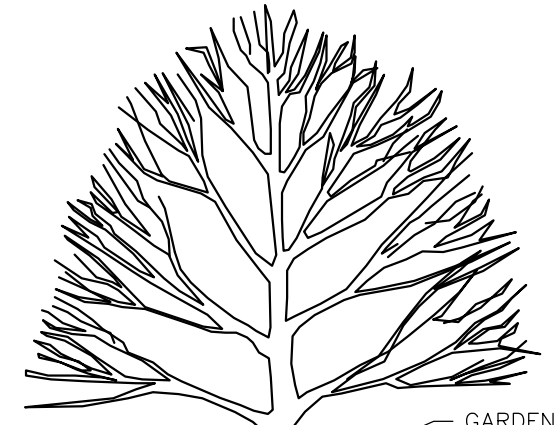
TEMP. CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



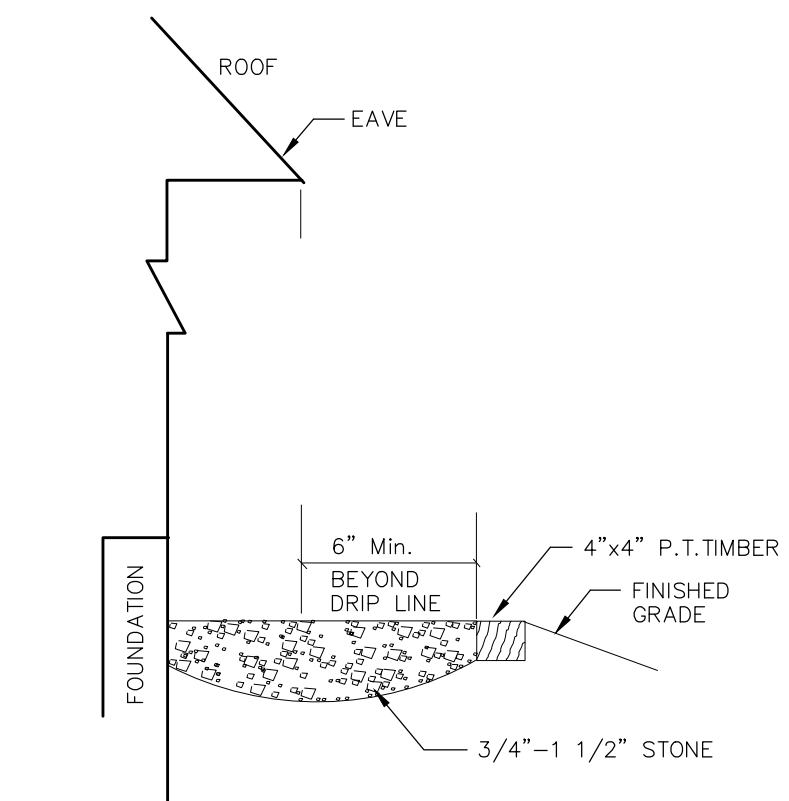
SEDIMENT TRAP

NOT TO SCALE



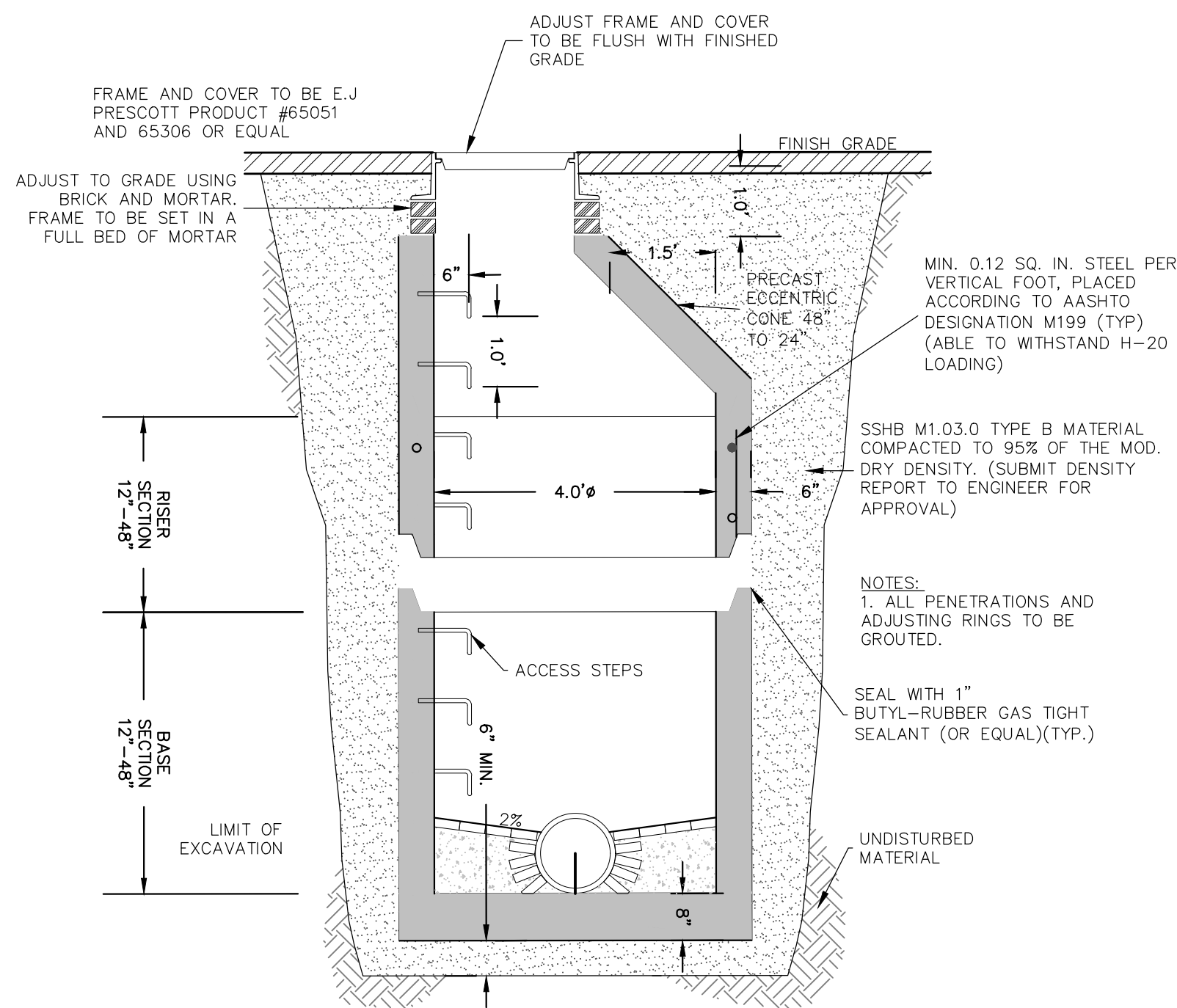
TREE PLANTING DETAIL

NOT TO SCALE



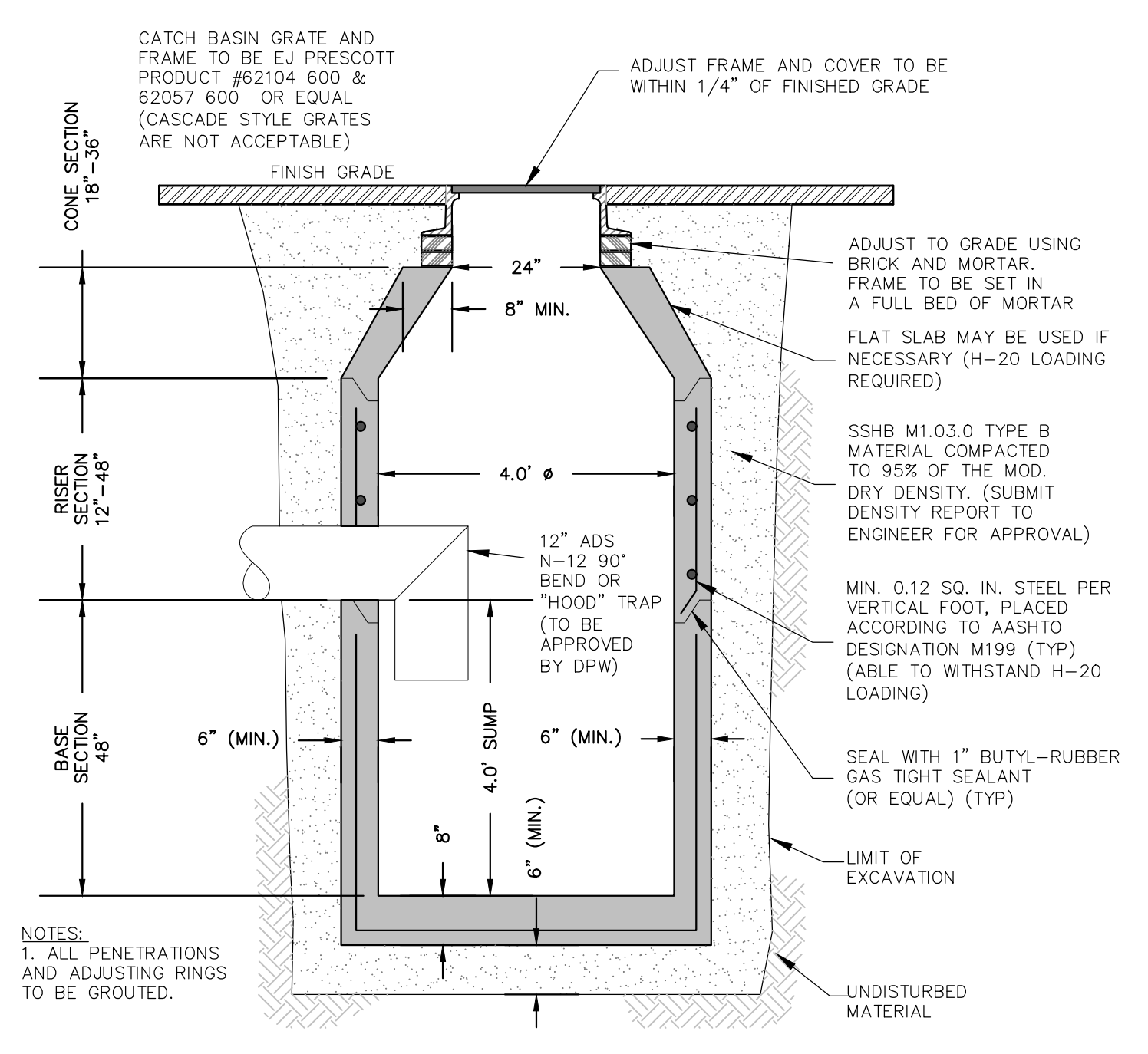
DRIP LINE RECHARGE DETAIL

NOT TO SCALE



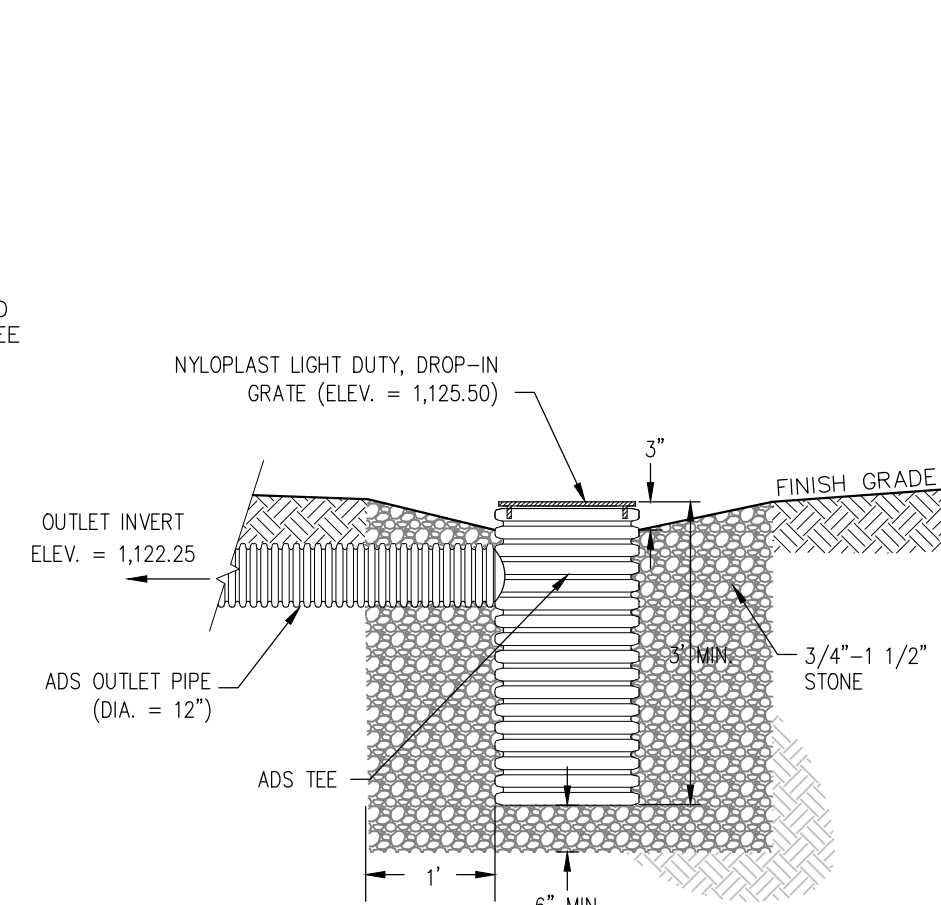
DRAIN MANHOLE DETAIL

NOT TO SCALE



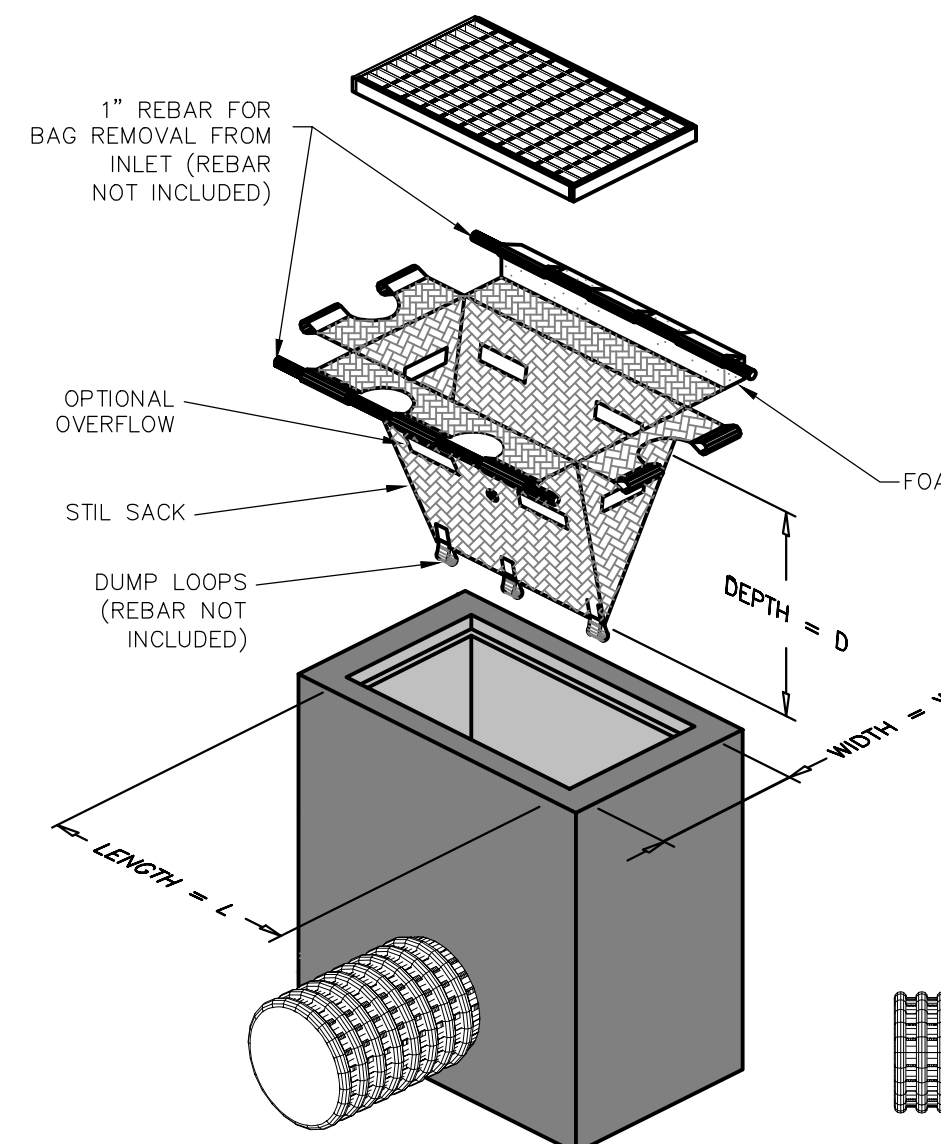
DEEP SUMP CONCRETE CATCH BASIN

NOT TO SCALE



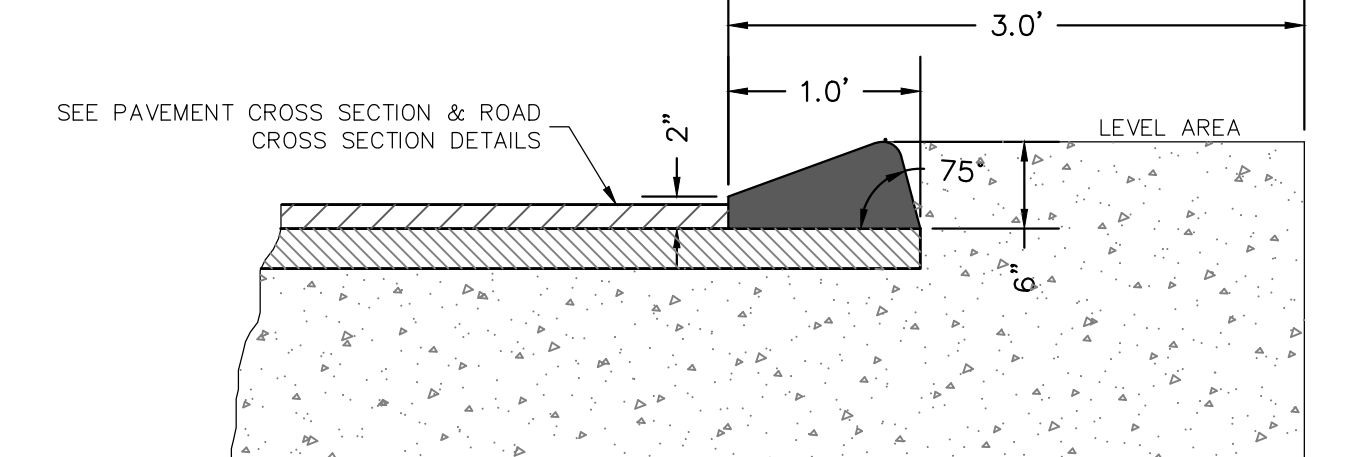
OUTLET CONTROL STRUCTURE (SEDIMENT FOREBAY #1 DETAIL)

NOT TO SCALE



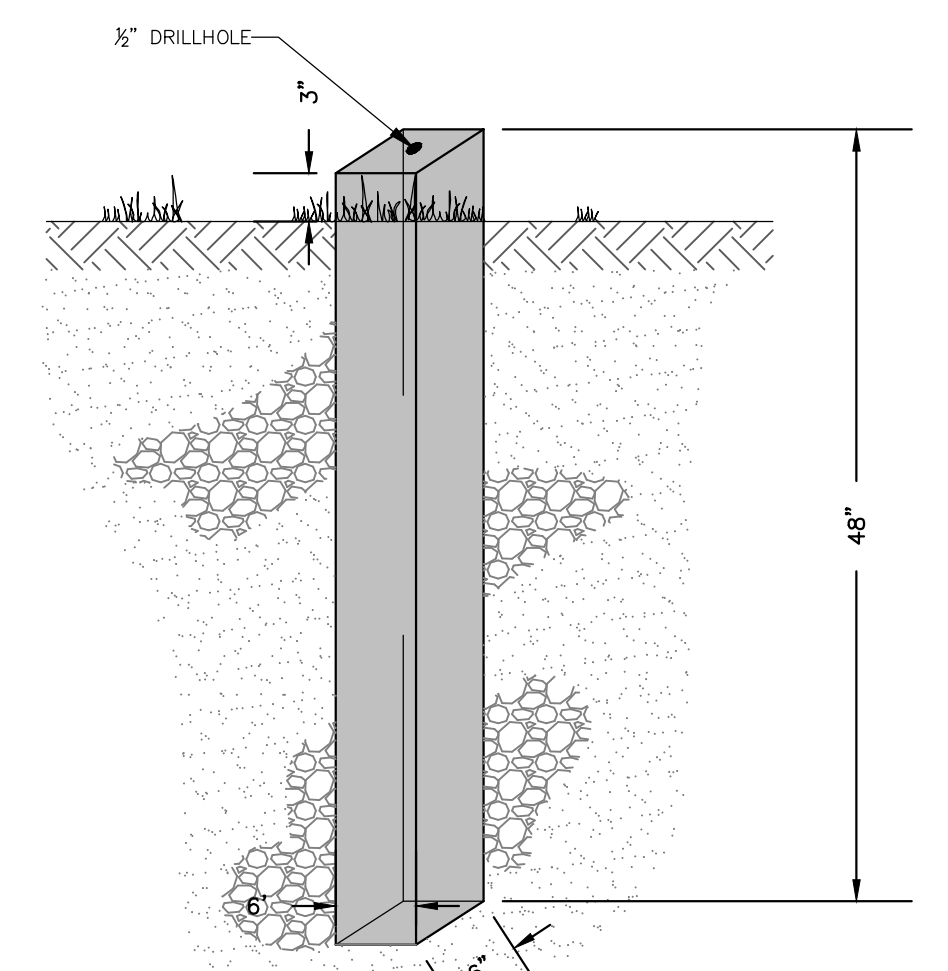
SILT SACK DETAIL

NOT TO SCALE



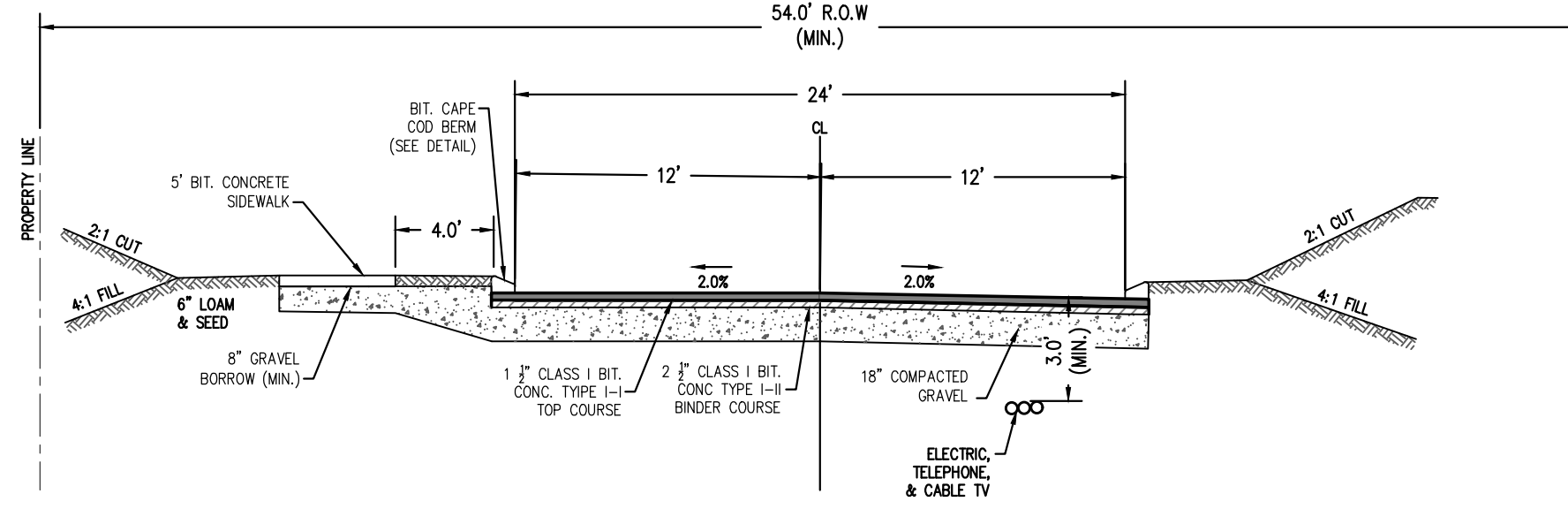
BIT. CAPE COD CURB BERM DETAIL

NOT TO SCALE



CONCRETE BOUND WITH DRILLHOLE

NO SCALE



TYPICAL ROAD CROSS-SECTION

NOT TO SCALE

RESERVED FOR REGISTRY USE

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
WESTMINSTER PLANNING BOARD

BEING A MAJORITY DATE APPROVED: _____ DATE ENDORSED: _____

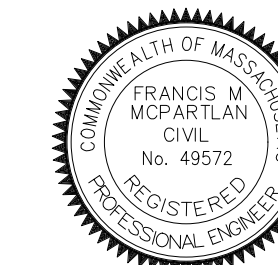
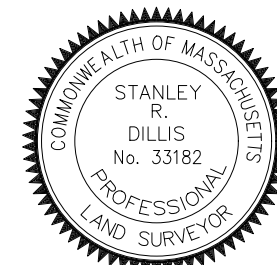
APPROVED SUBJECT TO CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith

NO BUILDING OR STRUCTURE SHALL BE BUILT OR PLACED ON ANY LOT WITHOUT A PERMIT FROM THE BOARD OF HEALTH

I ELLEN M. SHEEHAN CLERK OF THE TOWN OF WESTMINSTER HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED BY THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF NOTICE.

WESTMINSTER TOWN CLERK DATE

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PROFESSIONAL LAND SURVEYOR DATE PROFESSIONAL ENGINEER DATE

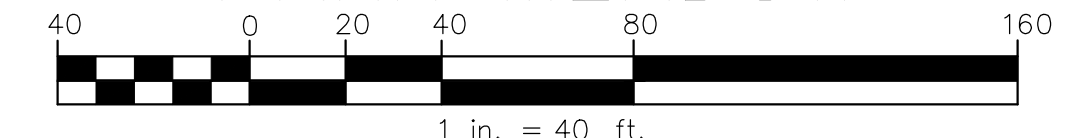
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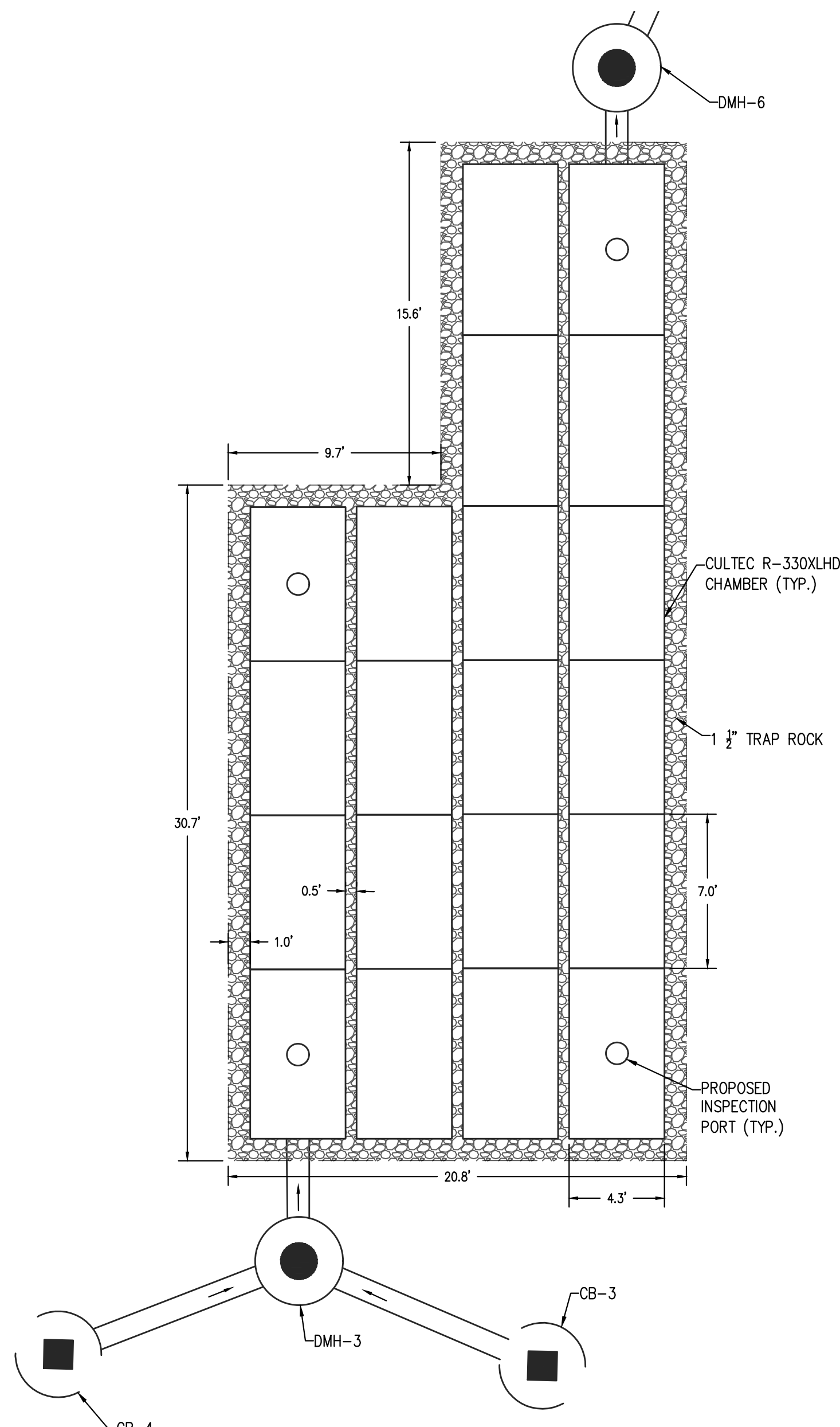
PLAN REVISIONS

NO.	DATE:	DESCRIPTION:	BY:
1.	7/31/2023	REVISED PER PEER REVIEW & TOWN COMMENTS	RWP

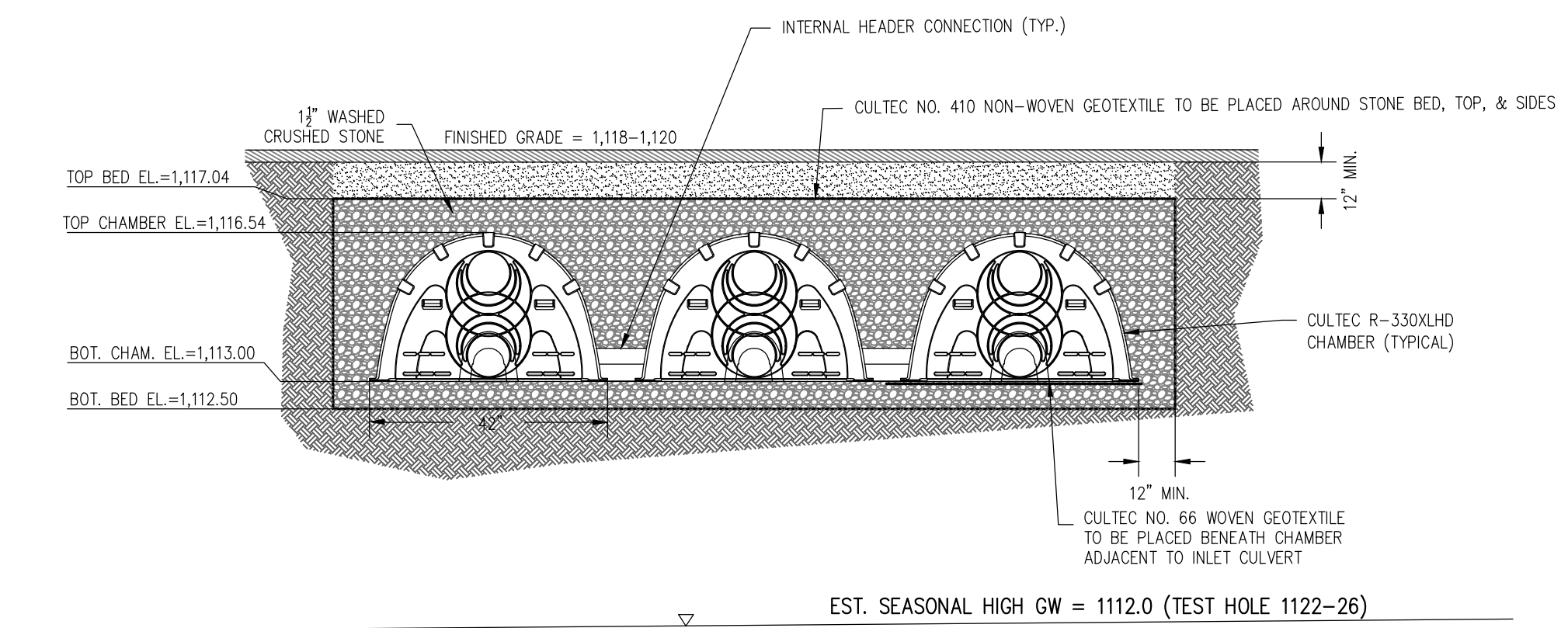
DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
CONSTRUCTION DETAILS
PARK MEADOW



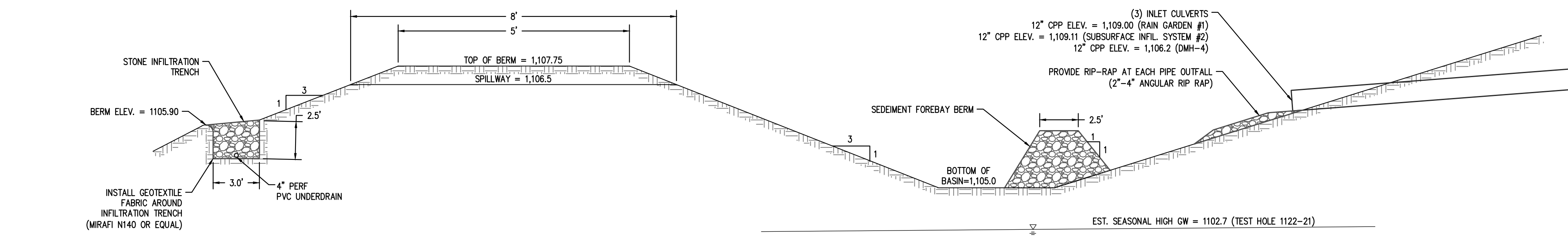
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DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-DETAILS	



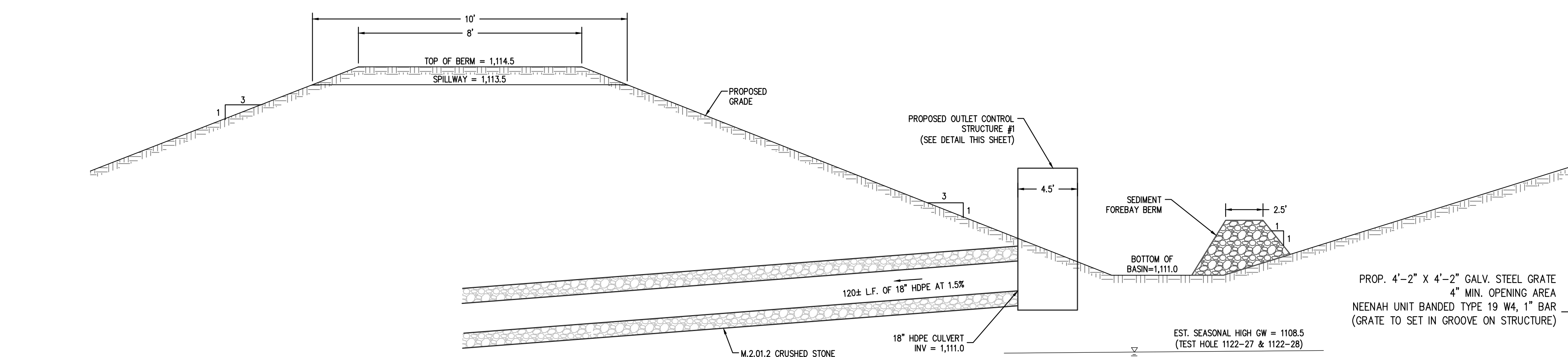
SUBSURFACE INFILTRATION SYSTEM #1
SCALE: 1" = 5'



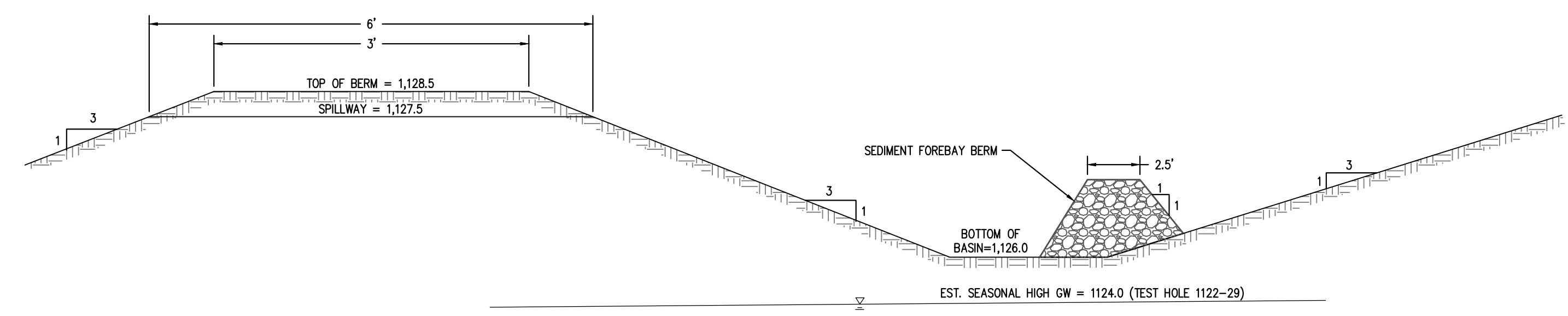
SUBSURFACE INFILTRATION SYSTEM #2 CROSS SECTION
SCALE: 1" = 5'



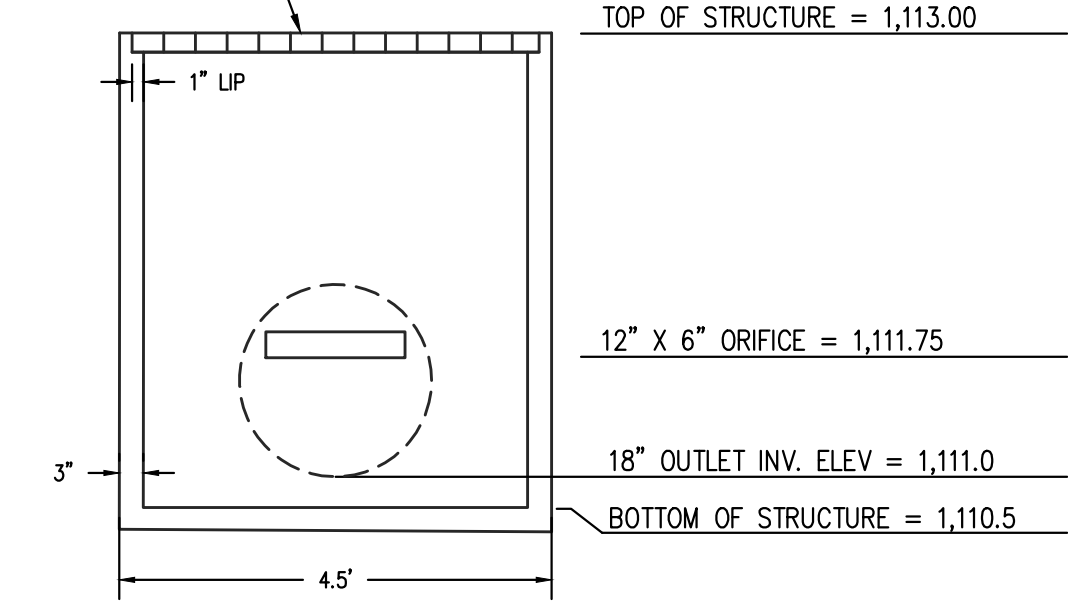
INFILTRATION BASIN #1 CROSS SECTION DETAIL
NOT TO SCALE



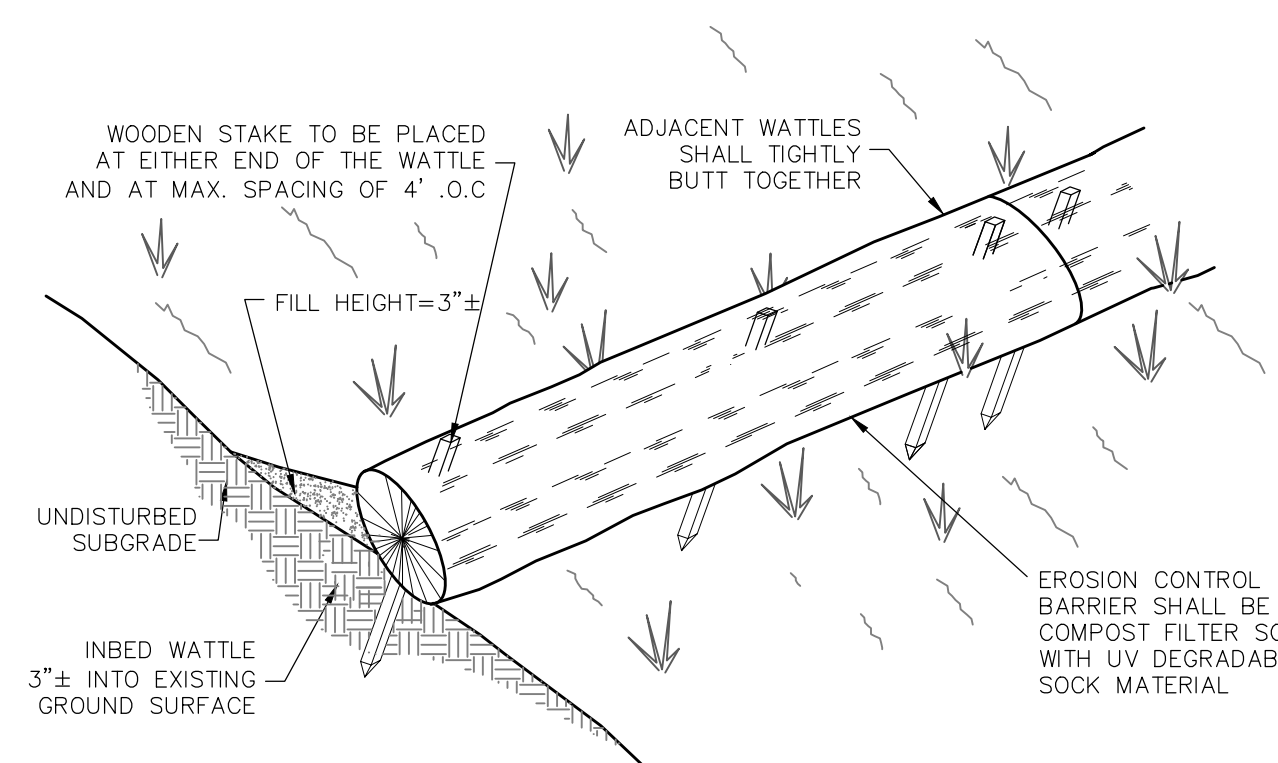
INFILTRATION BASIN #2 CROSS SECTION DETAIL
NOT TO SCALE



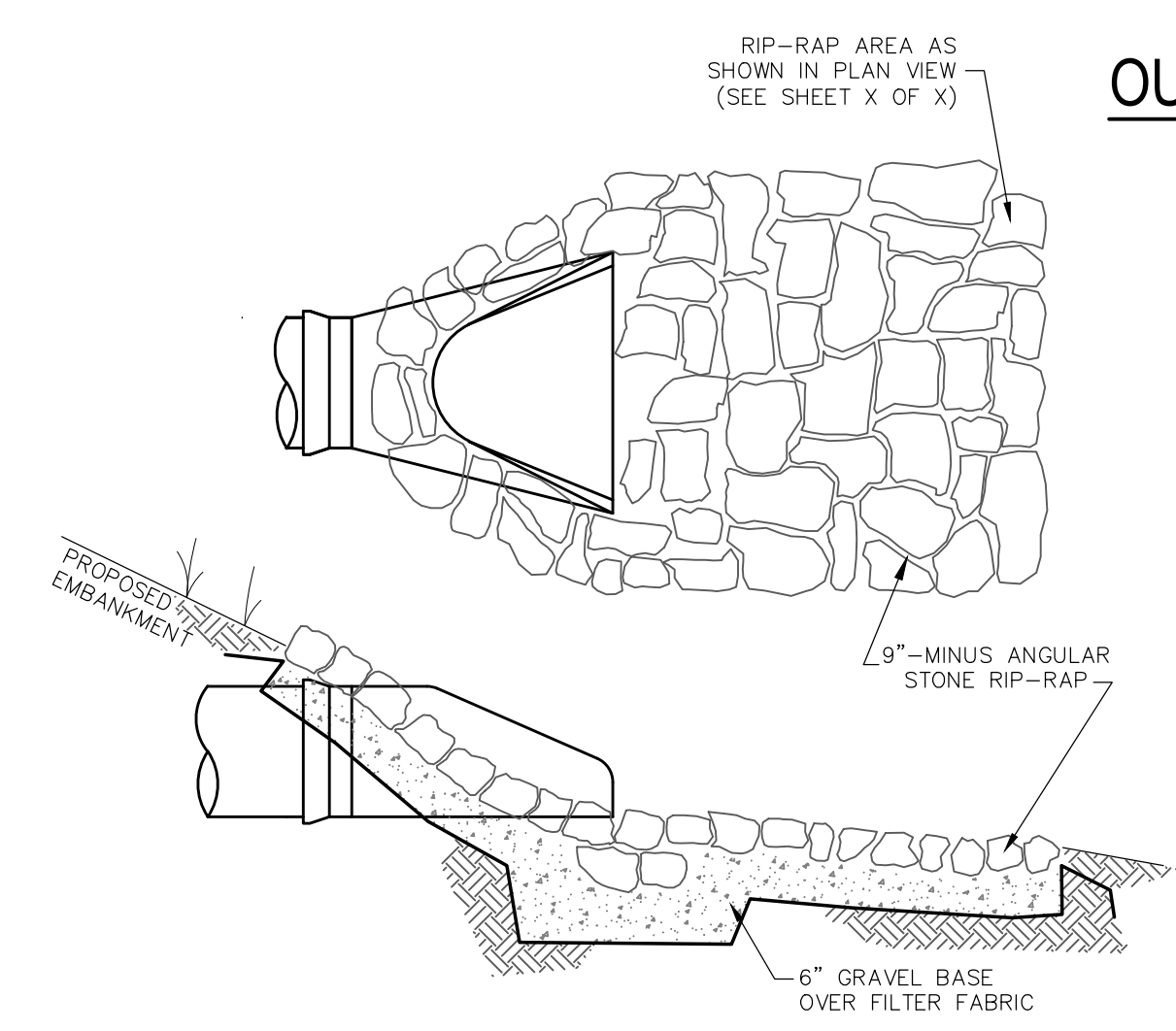
INFILTRATION BASIN #3 CROSS SECTION DETAIL
NOT TO SCALE



OUTLET CONTROL STRUCTURE DETAIL
NOT TO SCALE



STRAW WATTLE DETAIL
NOT TO SCALE



FLARED END SECTION
NOT TO SCALE

ISSUED FOR PERMIT

RESERVED FOR REGISTRY USE

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WESTMINSTER PLANNING BOARD

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STANLEY DILLIS No. 33182 REGISTERED PROFESSIONAL LAND SURVEYOR

FRANCIS MOPARTLAN CIVIL No. 49572 REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL LAND SURVEYOR DATE _____ PROFESSIONAL ENGINEER DATE _____

DILLIS & ROY
CIVIL DESIGN GROUP

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DEFINITIVE SUBDIVISION PLAN
WESTMINSTER, MASSACHUSETTS
CONSTRUCTION DETAILS
PARK MEADOW

1 in. = 40 ft.

DESIGN BY: RWP	DRAWN BY: SBD/RWP	CHECKED BY: FMM	SHEET NO. C6.2
DATE: 3/6/2023	JOB NUMBER: 7128	DRAWING NO. 7128-DETAILS	