

**ZONING NOTES**

SEC. 205-33 CATEGORY	ZONING	PROPOSED	CONFORMANCE
<b>A. SITE PLANS</b>			
Minimum Frontage	400'	800'	Conforms
Minimum Setback	50'	147'	Conforms
Minimum Side and Rear Yard	50'	Side = 158' Rear = 78'	Conforms
Max. Building Height	35'	36'+/- to eave height 42' to ridge of gables at corner roof	Variance
Minimum Lot	5 Acres	8.164 Acres	Conforms
Maximum Building and Parking Coverage	40%	Building: 18,670 sf Parking/Road: 28,646 sf Total: 47,316 sf 13.3% Lot Coverage	Conforms
Maximum Building Coverage	20%	Building 18,670 sf (5.3%)	Conforms
Min. Lot Area for Efficiency & 1BR Dwelling Unit	4,000sf/unit	2 Eff. @ 4,000/unit: 8,000sf 40 1BR @ 4,000sf/unit: 160,000sf 8 2BR @ 8,000sf/unit: 64,000sf Min. Lot Area Required: 232,000sf	Conforms
Min. Lot Area for 2BR Dwelling Unit	8,000sf/unit		
Min. Lot Area for 3+ BR Dwelling Unit	12,500sf/unit		
Maximum Building & Parking Coverage	40%	Building: 18,670 sf Parking/Road: 28,646 sf Total: 47,316 sf (13.3%)	Conforms
Maximum Building Coverage	20%	18,670 sf (5.3%)	Conforms
Parking Distance from Lot Line	35'	35'	Conforms
Parking Spaces Required	1 Space/Unit (Senior Housing)	50 Parking Spaces (50 Units)	Conforms
Building Distance from single or two family dwelling.	100'	188' +/-	Conforms
<b>B. HABITABLE FLOOR SPACE</b>			
Efficiency	450sf	464sf	Conforms
One bedroom	550sf	575sf	Conforms
Two bedroom	750sf	884sf	Conforms
WHA Housing For The Elderly	400sf	N/A	N/A
<b>A. AFFORDABILITY</b>			
Minimum number of affordable units	25%	100%	Conforms

**PLAN NOTES**

- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED BY LANDECH CONSULTANTS ON JULY 2019 AND PLANS AS LISTED BELOW:
  - "DEFINITIVE SUBDIVISION PLAN" PREPARED FOR WESTMINSTER COUNCIL ON AGING DATED JANUARY 8, 2018 BY WHITMAN AND BINGHAM ASSOCIATES OF LEOMINSTER, MA
  - "TOPOGRAPHIC PLAN WESTMINSTER SENIOR COMMUNITY CENTER" PREPARED FOR WESTMINSTER COUNCIL ON AGING DATED JUNE 6, 2017 BY WHITMAN AND BINGHAM ASSOCIATES OF LEOMINSTER, MA.
- SOME UTILITY INVESTIGATION WAS PERFORMED AT DRAINAGE AND SEWER STRUCTURES WHERE ACCESSIBLE. NO OTHER SUBSURFACE INVESTIGATION WAS PERFORMED.
- THE COORDINATES SHOWN ON THIS PLAN ARE IN U.S. SURVEY FEET IN THE MASS. STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE) REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), CORS ADJUSTMENT (NA2011/GEOD 12A) AS DETERMINED BY GPS OBSERVATIONS PERFORMED IN JANUARY OF 2019 UTILIZING THE MACORS (MASSACHUSETTS CONTINUOUS OPERATING REFERENCE STATION) RTK GPS NETWORK.
- THE VERTICAL DATUM FOR THIS PROJECT IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), CORS ADJUSTMENT (NA2011/GEOD 12A) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS PERFORMED IN JULY OF 2019 UTILIZING THE MACORS (MASSACHUSETTS CONTINUOUS OPERATING REFERENCE STATION NETWORK) RTK GPS NETWORK.

**RECORD OWNER**

TOWN OF WESTMINSTER  
11 SOUTH STREET  
WESTMINSTER, MA 01473

**ASSESSOR'S REFERENCE**

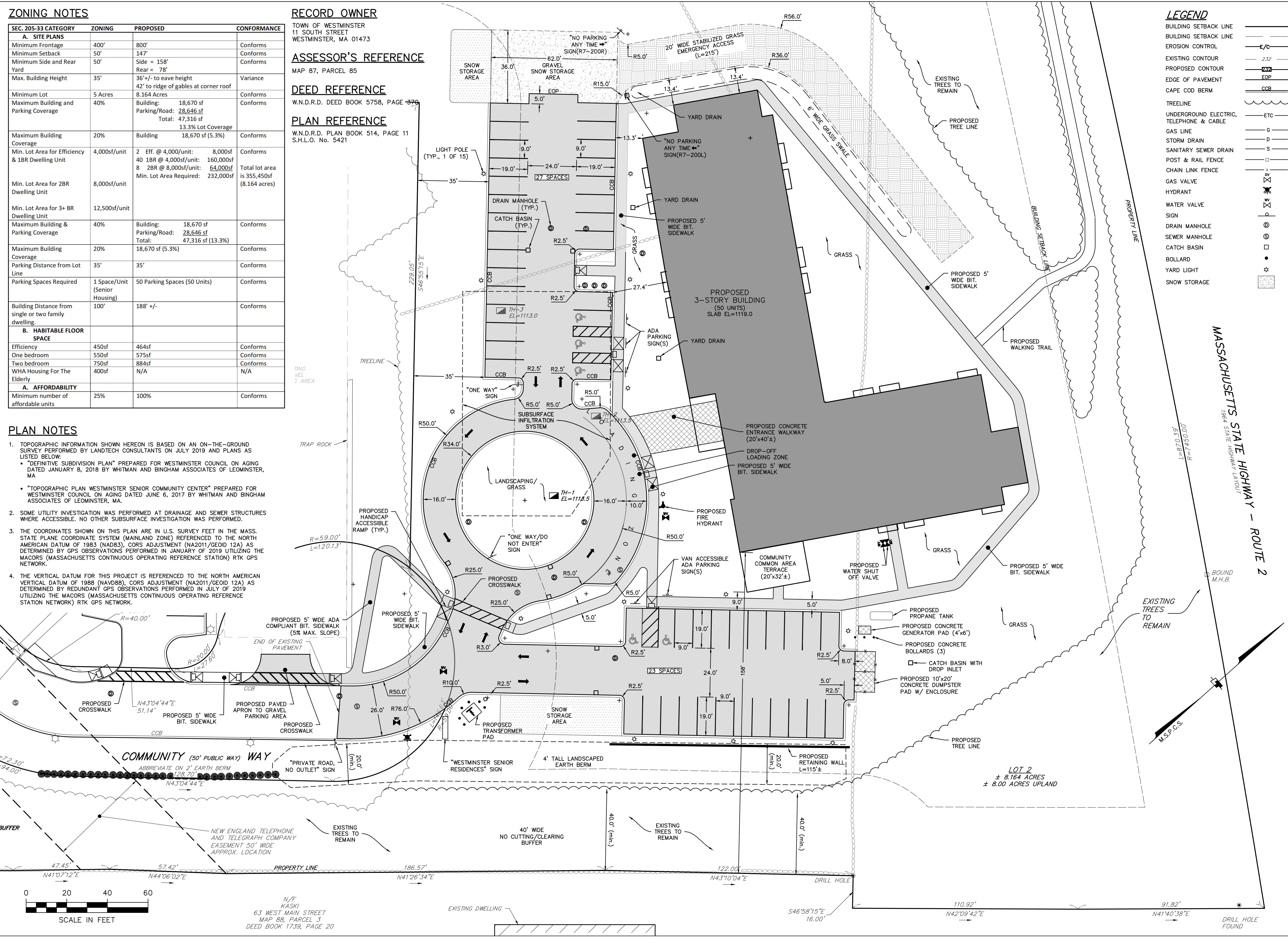
MAP 87, PARCEL 85

**DEED REFERENCE**

W.N.D.R.D. DEED BOOK 5758, PAGE 379

**PLAN REFERENCE**

W.N.D.R.D. PLAN BOOK 514, PAGE 11  
S.H.L.O. No. 5421



**LEGEND**

- BUILDING SETBACK LINE
- BUILDING SETBACK LINE
- EROSION CONTROL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EDGE OF PAVEMENT
- CAPE COD BERM
- TREELINE
- UNDERGROUND ELECTRIC, TELEPHONE & CABLE
- GAS LINE
- STORM DRAIN
- SANITARY SEWER DRAIN
- POST & RAIL FENCE
- CHAIN LINK FENCE
- GAS VALVE
- HYDRANT
- WATER VALVE
- SIGN
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- BOLLARD
- YARD LIGHT
- SNOW STORAGE

Date issued: 09-20-19

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ARLINGTON, MA 02474  
P: 781 648.6600  
F: 781 648.6601  
www.winslowarchitects.com

Proposer: COMMONWEALTH COMMUNITY DEVELOPERS

Proposer: COMMONWEALTH COMMUNITY DEVELOPERS

Project: WESTMINSTER SENIOR RESIDENCES

Drawing: SITE PLAN

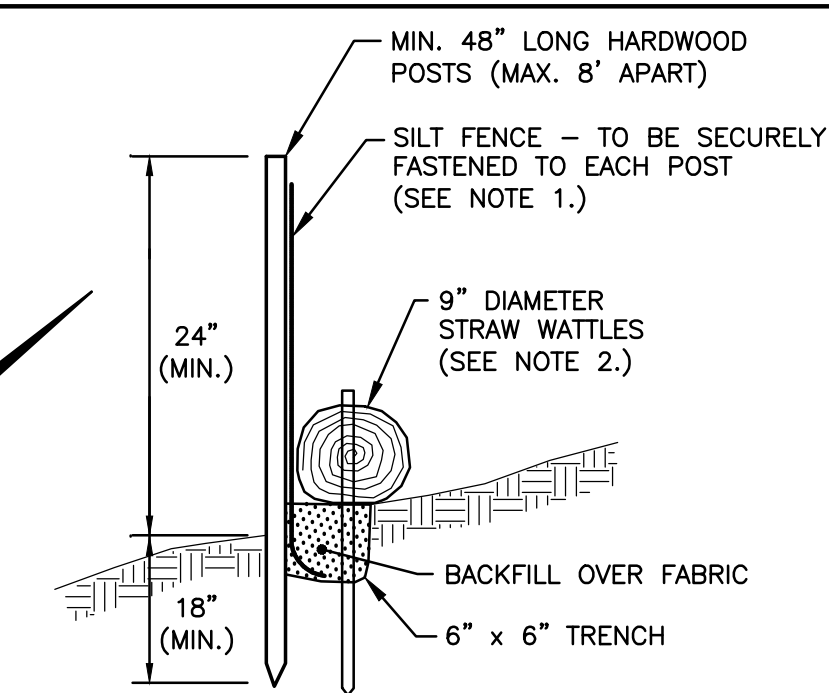
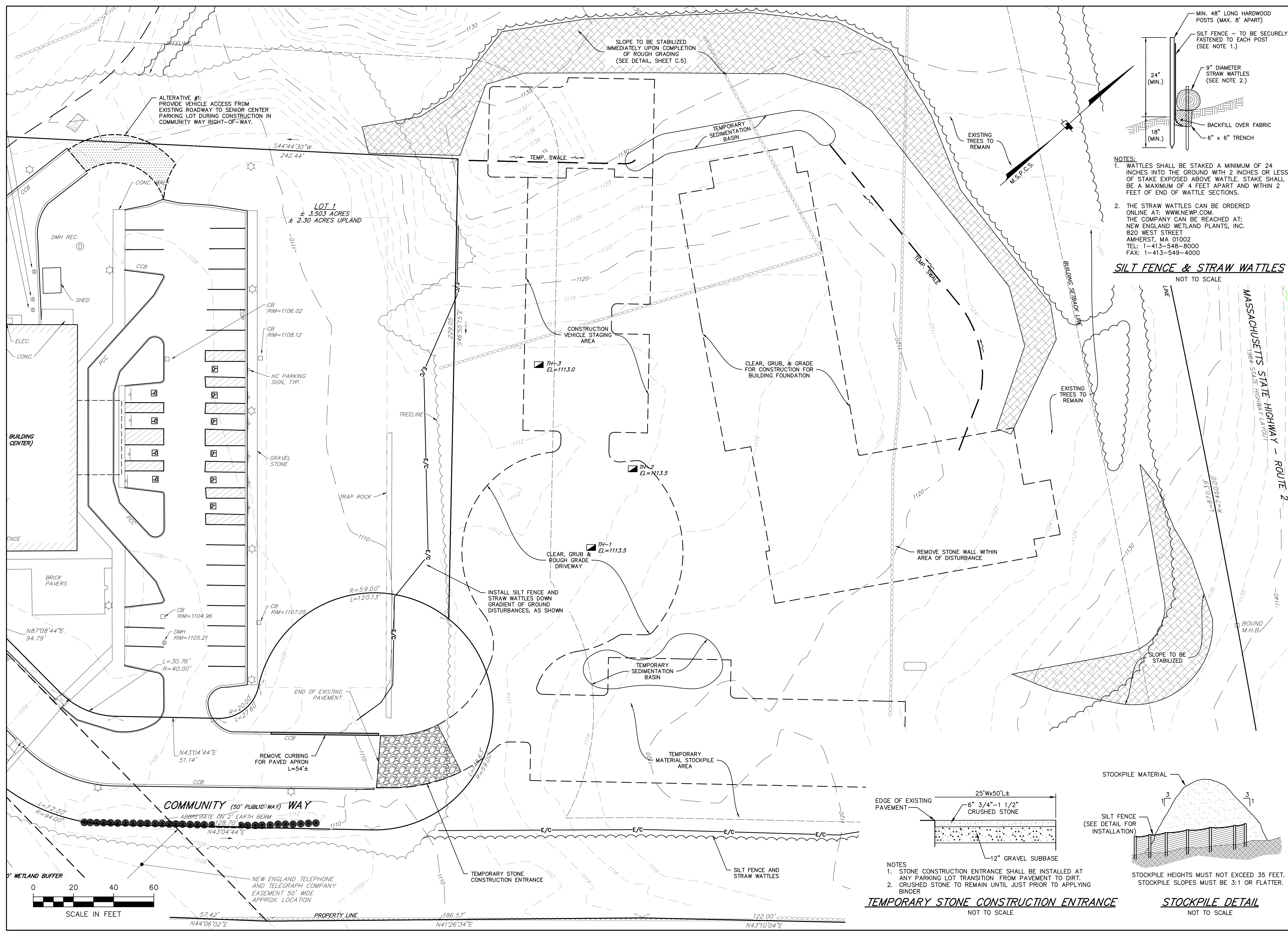
**Project Status**

No.	Description	Date
1	Review Comments	11/22/19
2	Shri Parking Area 11 Ft	12/12/19
3	Footprint	1/7/20
4	Footprint, Parking, Grades	12/18/20
5	Footprint, Parking, Grades	6/24/21
6	Footprint, Parking Layout	8/4/21
7	Town Comments	11/10/21
8	Utility & Sidewalk Layout	11/30/21

Stamp:

Project number: 18-553  
Sheet: C-1

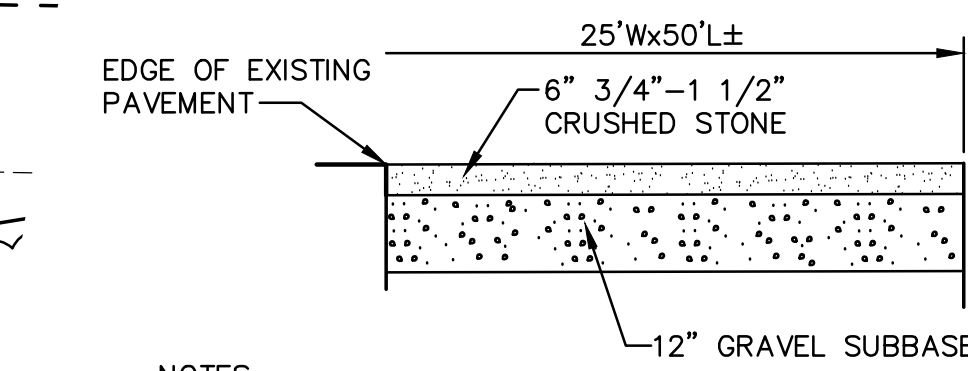




**NOTES:**

1. WATTLES SHALL BE STAKED A MINIMUM OF 24 INCHES INTO THE GROUND WITH 2 INCHES OR LESS OF STAKE EXPOSED ABOVE WATTLE. STAKE SHALL BE A MAXIMUM OF 4 FEET APART AND WITHIN 2 FEET OF END OF WATTLE SECTIONS.
2. THE STRAW WATTLES CAN BE ORDERED ONLINE AT: WWW.NEWP.COM. THE COMPANY CAN BE REACHED AT: NEW ENGLAND WETLAND PLANTS, INC. 820 WEST STREET AMHERST, MA 01002 TEL: 1-413-548-8000 FAX: 1-413-549-4000

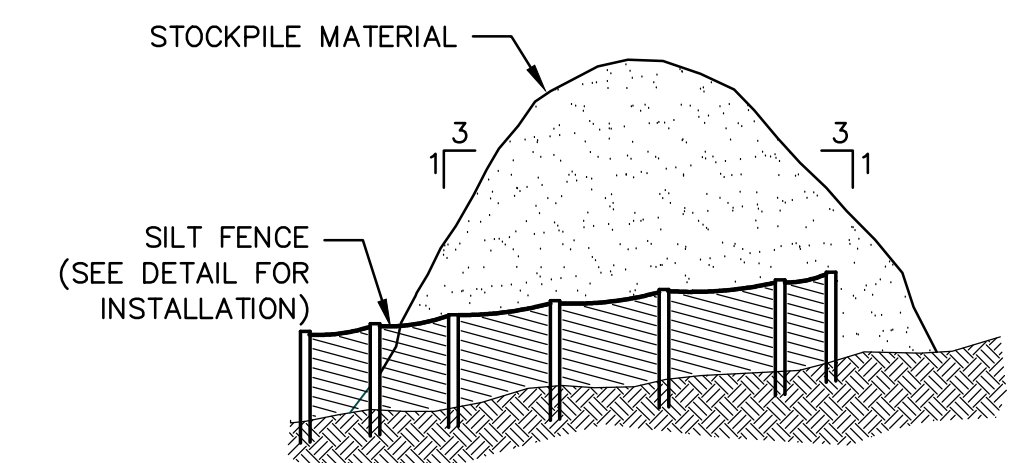
**SILT FENCE & STRAW WATTLES**  
NOT TO SCALE



**NOTES:**

1. STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ANY PARKING LOT TRANSITION FROM PAVEMENT TO DIRT.
2. CRUSHED STONE TO REMAIN UNTIL JUST PRIOR TO APPLYING BINDER

**TEMPORARY STONE CONSTRUCTION ENTRANCE**  
NOT TO SCALE



STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 3:1 OR FLATTER.

**STOCKPILE DETAIL**  
NOT TO SCALE

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Proposer: COMMONWEALTH COMMUNITY DEVELOPERS

Project: WESTMINSTER SENIOR RESIDENCES

Drawing: SITE PREPARATION PLAN

Project Status		
No.	Description	Date
1	Review Comments	11/22/19
2	Shift Parking Area 11 Ft	12/12/19
3	Footprint	1/7/20
4	Footprint, Parking Grades	12/18/20
5	Footprint, Parking Layout	8/4/21
8	Utility & Sidewalk Layout	11/30/21

Stamp:

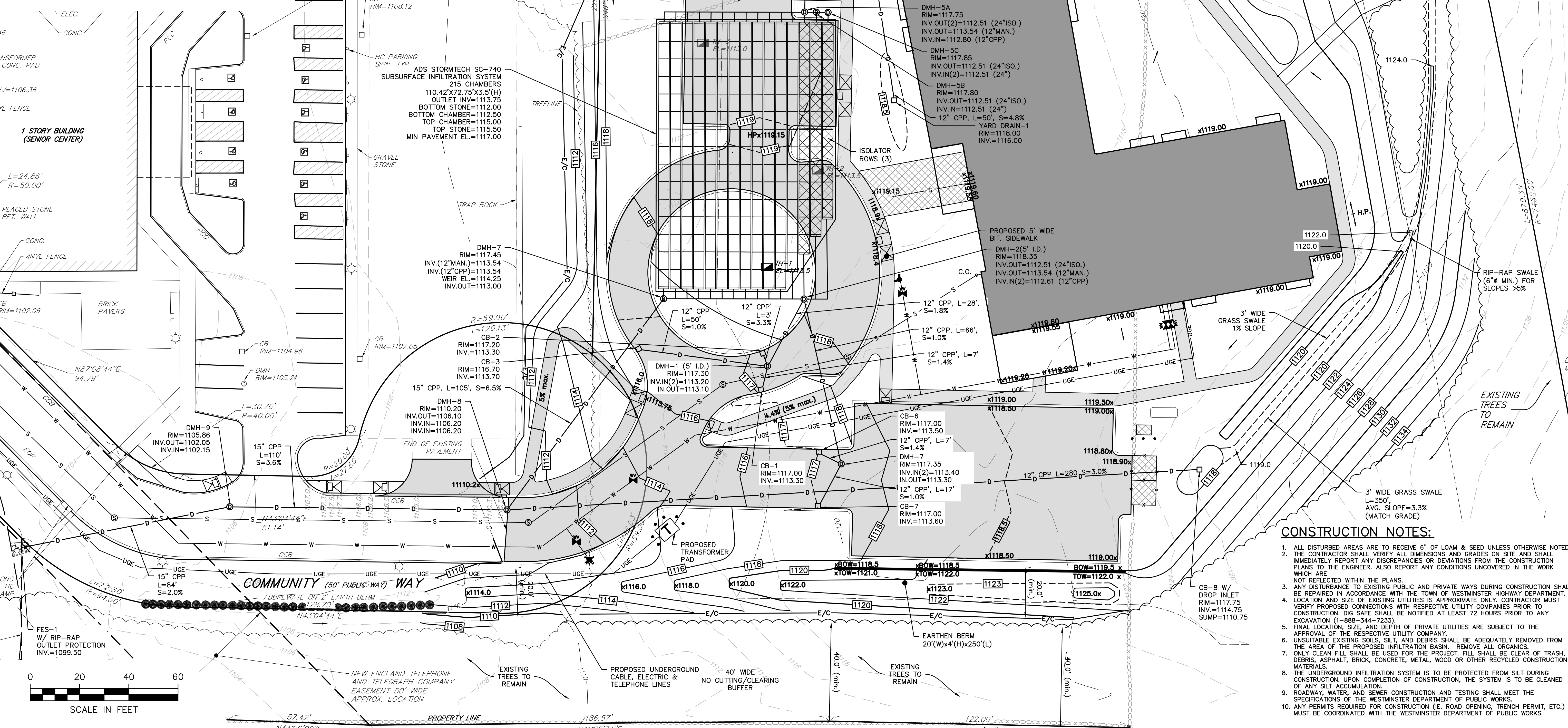
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Sheet: C-2

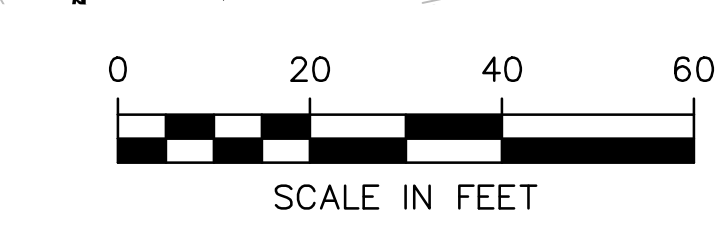


**CONSTRUCTION SEQUENCE:**

1. INSTALL EROSION CONTROL BARRIER AS SHOWN. THE LOCATION OF THE EROSION CONTROL BARRIER SHALL BE STAKED BY AN ENGINEER OR SURVEYOR.
2. LINE ALL EXISTING CATCH BASINS WITH SILTSACKS. SILT SACKS ARE TO BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT, AND SHALL BE CLEANED AS NECESSARY. SILT SACKS ARE TO REMAIN IN PLACE UNTIL JUST PRIOR TO THE PLACEMENT OF THE FINISHED PAVEMENT COURSE.
3. MARK OUT TREES BEFORE CLEARING AND GRUBBING.
4. CLEAR AND GRUB AREA WITHIN THE LIMIT OF WORK.
5. RIPRAP SHALL BE INSTALLED AT THE PIPE INLETS AND OUTLETS TO REDUCE THE POTENTIAL FOR CHANNEL EROSION. ADDITIONAL VELOCITY DISSIPATION DEVICES MAY BE REQUIRED. THIS MAY INCLUDE EARTH DIKES, CHECK DAMS OR WATTLE AND SILT FENCING.
6. INSTALL TEMPORARY SEDIMENTATION BASINS.
7. THE BUILDING LOCATION AND PROPERTY LINES ARE TO BE STAKED BY A LICENSED LAND SURVEYOR IN ALL AREAS WHERE PROPOSED CONSTRUCTION IS WITHIN 10' OF THE BOUNDARY.
8. INSTALL FOUNDATIONS AND UTILITIES.
9. BACKFILL FOUNDATION AND ROUGH GRADE LOT.
10. PLACE BINDER COURSE ON ROADWAY. CATCH BASIN GRATES ARE TO BE INSTALLED FLUSH WITH BINDER UNTIL WEARING COURSE IS INSTALLED.
11. INSTALL CATCH BASINS, DRAIN PIPES, INFILTRATION SYSTEM, AND GRASS SWALE.
12. A TEMPORARY BITUMINOUS CONCRETE BERM/LIP SHALL BE INSTALLED AT THE EDGE OF THE PAVEMENT AT THE TIME THE BINDER COURSE IS CONSTRUCTED TO DIRECT STORM WATER RUNOFF INTO THE CATCH BASINS UNTIL THE CURBING IS INSTALLED.
13. STABILIZE ALL DISTURBED AREAS WITH LOAM AND SEED AS SOON AS POSSIBLE.



- CONSTRUCTION NOTES:**
1. ALL DISTURBED AREAS ARE TO RECEIVE 6" OF LOAM & SEED UNLESS OTHERWISE NOTED.
  2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE ENGINEER. ALSO REPORT ANY CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED WITHIN THE PLANS.
  3. ANY DISTURBANCE TO EXISTING PUBLIC AND PRIVATE WAYS DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE TOWN OF WESTMINSTER HIGHWAY DEPARTMENT. APPROVAL OF THE RESPECTIVE UTILITY COMPANY.
  4. LOCATION AND SIZE OF EXISTING UTILITIES IS APPROXIMATE ONLY. CONTRACTOR MUST VERIFY PROPOSED CONNECTIONS WITH RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. DIG SAFE SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION (1-888-344-7233).
  5. FINAL LOCATION, SIZE, AND DEPTH OF PRIVATE UTILITIES ARE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANY.
  6. UNSUITABLE EXISTING SOILS, SILT, AND DEBRIS SHALL BE ADEQUATELY REMOVED FROM THE AREA OF THE PROPOSED INFILTRATION BASIN. REMOVE ALL ORGANICS.
  7. ONLY CLEAN FILL SHALL BE USED FOR THE PROJECT. FILL SHALL BE CLEAR OF TRASH, DEBRIS, ASPHALT, BRICK, CONCRETE, METAL, WOOD OR OTHER RECYCLED CONSTRUCTION MATERIALS.
  8. THE UNDERGROUND INFILTRATION SYSTEM IS TO BE PROTECTED FROM SILT DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, THE SYSTEM IS TO BE CLEANED OF ANY SILT ACCUMULATION.
  9. ROADWAY, WATER, AND SEWER CONSTRUCTION AND TESTING SHALL MEET THE SPECIFICATIONS OF THE WESTMINSTER DEPARTMENT OF PUBLIC WORKS.
  10. ANY PERMITS REQUIRED FOR CONSTRUCTION (IE. ROAD OPENING, TRENCH PERMIT, ETC.) MUST BE COORDINATED WITH THE WESTMINSTER DEPARTMENT OF PUBLIC WORKS.



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P: 781.648.6600 F: 781.648.6601  
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Proposer: COMMONWEALTH COMMUNITY DEVELOPERS

Project: WESTMINSTER SENIOR RESIDENCES

Drawing: GRADING & DRAINAGE PLAN

Project Status		
No.	Description	Date
1	Review Comments	11/22/19
2	Shift Parking Area 11 Ft	12/12/19
3	Adjust Landscape Berm	1/7/20
4	Footprint, Parking, Grades	12/18/20
5	Footprint, Parking, Grades	6/24/21
6	Footprint, Parking Layout	8/4/21
7	Town Comments	11/10/21
8	Utility & Sidewalk Layout	11/30/21

Stamp: MATTHEW A. WATERSMAN, PROFESSIONAL ENGINEER, No. 00566, State of Massachusetts

Project number: 18-553

Sheet: C-3

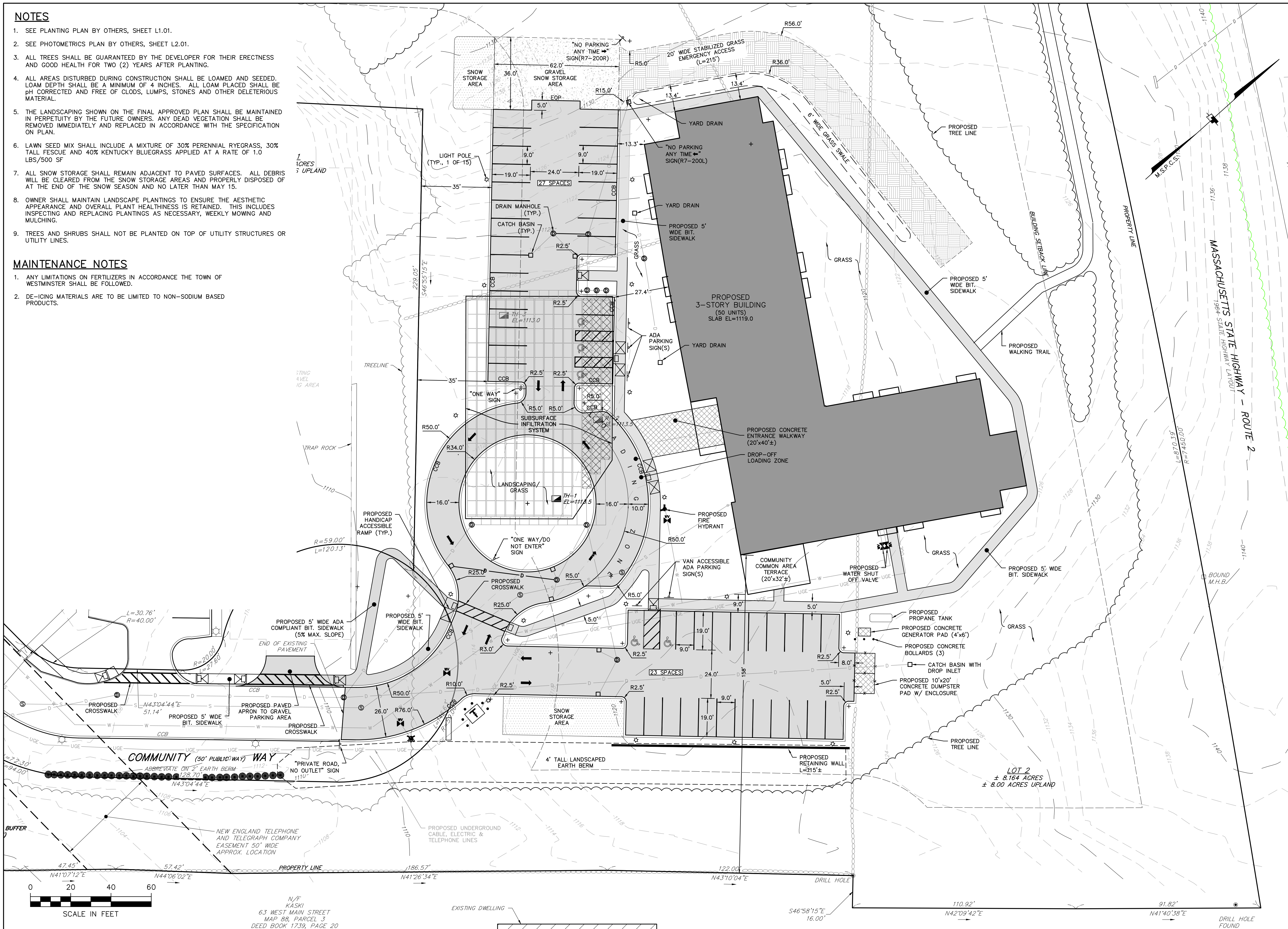


**NOTES**

1. SEE PLANTING PLAN BY OTHERS, SHEET L1.01.
2. SEE PHOTOMETRICS PLAN BY OTHERS, SHEET L2.01.
3. ALL TREES SHALL BE GUARANTEED BY THE DEVELOPER FOR THEIR ERRECTNESS AND GOOD HEALTH FOR TWO (2) YEARS AFTER PLANTING.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED. LOAM DEPTH SHALL BE A MINIMUM OF 4 INCHES. ALL LOAM PLACED SHALL BE pH CORRECTED AND FREE OF CLOUDS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL.
5. THE LANDSCAPING SHOWN ON THE FINAL APPROVED PLAN SHALL BE MAINTAINED IN PERPETUITY BY THE FUTURE OWNERS. ANY DEAD VEGETATION SHALL BE REMOVED IMMEDIATELY AND REPLACED IN ACCORDANCE WITH THE SPECIFICATION ON PLAN.
6. LAWN SEED MIX SHALL INCLUDE A MIXTURE OF 30% PERENNIAL RYEGRASS, 30% TALL FESCUE AND 40% KENTUCKY BLUEGRASS APPLIED AT A RATE OF 1.0 LBS/500 SF
7. ALL SNOW STORAGE SHALL REMAIN ADJACENT TO PAVED SURFACES. ALL DEBRIS WILL BE CLEARED FROM THE SNOW STORAGE AREAS AND PROPERLY DISPOSED OF AT THE END OF THE SNOW SEASON AND NO LATER THAN MAY 15.
8. OWNER SHALL MAINTAIN LANDSCAPE PLANTINGS TO ENSURE THE AESTHETIC APPEARANCE AND OVERALL PLANT HEALTHINESS IS RETAINED. THIS INCLUDES INSPECTING AND REPLACING PLANTINGS AS NECESSARY, WEEKLY MOWING AND MULCHING.
9. TREES AND SHRUBS SHALL NOT BE PLANTED ON TOP OF UTILITY STRUCTURES OR UTILITY LINES.

**MAINTENANCE NOTES**

1. ANY LIMITATIONS ON FERTILIZERS IN ACCORDANCE THE TOWN OF WESTMINSTER SHALL BE FOLLOWED.
2. DE-ICING MATERIALS ARE TO BE LIMITED TO NON-SODIUM BASED PRODUCTS.



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COMMONWEALTH COMMUNITY DEVELOPERS

Project:

WESTMINSTER SENIOR RESIDENCES

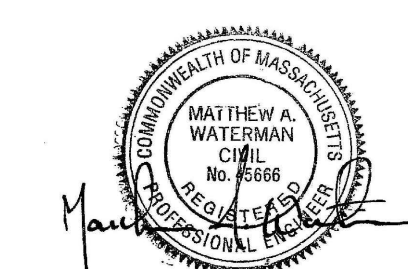
Drawing:

LANDSCAPE & LIGHTING PLAN

**Project Status**

No.	Description	Date
1	Review Comments	11/22/19
2	Shift Parking Area 11 Ft	12/12/19
3	Adjust Landscape Berm	1/7/20
4	Footprint, Parking, Grades	12/18/20
6	Footprint, Parking Layout	8/4/21
7	Town Comments	11/10/21
8	Utility & Sidewalk Layout	11/30/21

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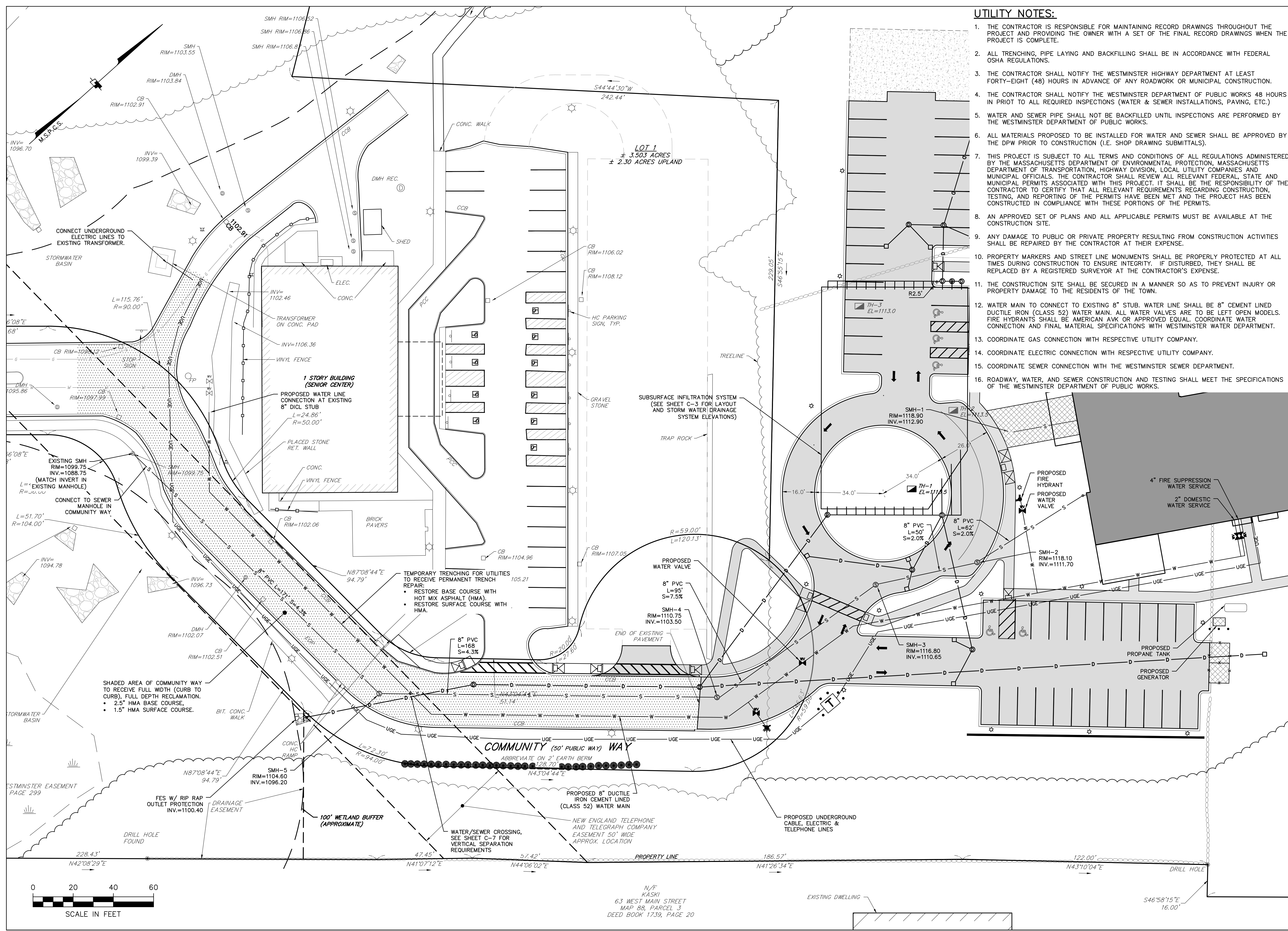
Project number:

18-553

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C-4





**UTILITY NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS THROUGHOUT THE PROJECT AND PROVIDING THE OWNER WITH A SET OF THE FINAL RECORD DRAWINGS WHEN THE PROJECT IS COMPLETE.
2. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE WESTMINSTER HIGHWAY DEPARTMENT AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY ROADWORK OR MUNICIPAL CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE WESTMINSTER DEPARTMENT OF PUBLIC WORKS 48 HOURS IN PRIOR TO ALL REQUIRED INSPECTIONS (WATER & SEWER INSTALLATIONS, PAVING, ETC.)
5. WATER AND SEWER PIPE SHALL NOT BE BACKFILLED UNTIL INSPECTIONS ARE PERFORMED BY THE WESTMINSTER DEPARTMENT OF PUBLIC WORKS.
6. ALL MATERIALS PROPOSED TO BE INSTALLED FOR WATER AND SEWER SHALL BE APPROVED BY THE DPW PRIOR TO CONSTRUCTION (I.E. SHOP DRAWING SUBMITTALS).
7. THIS PROJECT IS SUBJECT TO ALL TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION, MASSACHUSETTS DEPARTMENT OF TRANSPORTATION, HIGHWAY DIVISION, LOCAL UTILITY COMPANIES AND MUNICIPAL OFFICIALS. THE CONTRACTOR SHALL REVIEW ALL RELEVANT FEDERAL, STATE AND MUNICIPAL PERMITS ASSOCIATED WITH THIS PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CERTIFY THAT ALL RELEVANT REQUIREMENTS REGARDING CONSTRUCTION, TESTING, AND REPORTING OF THE PERMITS HAVE BEEN MET AND THE PROJECT HAS BEEN CONSTRUCTED IN COMPLIANCE WITH THESE PORTIONS OF THE PERMITS.
8. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
9. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
10. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
11. THE CONSTRUCTION SITE SHALL BE SECURED IN A MANNER SO AS TO PREVENT INJURY OR PROPERTY DAMAGE TO THE RESIDENTS OF THE TOWN.
12. WATER MAIN TO CONNECT TO EXISTING 8" STUB. WATER LINE SHALL BE 8" CEMENT LINED DUCTILE IRON (CLASS 52) WATER MAIN. ALL WATER VALVES ARE TO BE LEFT OPEN MODELS. FIRE HYDRANTS SHALL BE AMERICAN AVK OR APPROVED EQUAL. COORDINATE WATER CONNECTION AND FINAL MATERIAL SPECIFICATIONS WITH WESTMINSTER WATER DEPARTMENT.
13. COORDINATE GAS CONNECTION WITH RESPECTIVE UTILITY COMPANY.
14. COORDINATE ELECTRIC CONNECTION WITH RESPECTIVE UTILITY COMPANY.
15. COORDINATE SEWER CONNECTION WITH THE WESTMINSTER SEWER DEPARTMENT.
16. ROADWAY, WATER, AND SEWER CONSTRUCTION AND TESTING SHALL MEET THE SPECIFICATIONS OF THE WESTMINSTER DEPARTMENT OF PUBLIC WORKS.

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89 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474

P: 781 648.6600  
F: 781 648.6601

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Proposer: **COMMONWEALTH COMMUNITY DEVELOPERS**

Project: **WESTMINSTER SENIOR RESIDENCES**

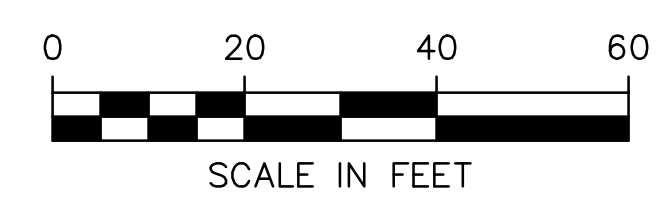
Drawing: **UTILITY CONNECTION PLAN**

Project Status		
No.	Description	Date
1	Review Comments	11/22/19
2	Shri Parking Area 11 Fl.	12/12/19
3	Adjust Landscape Berm	1/7/20
4	Footprint, Parking, Grades	12/18/20
6	Footprint, Parking Layout	8/4/21
7	Town Comments	11/10/21
8	Utility & Sidewalk Layout	11/30/21

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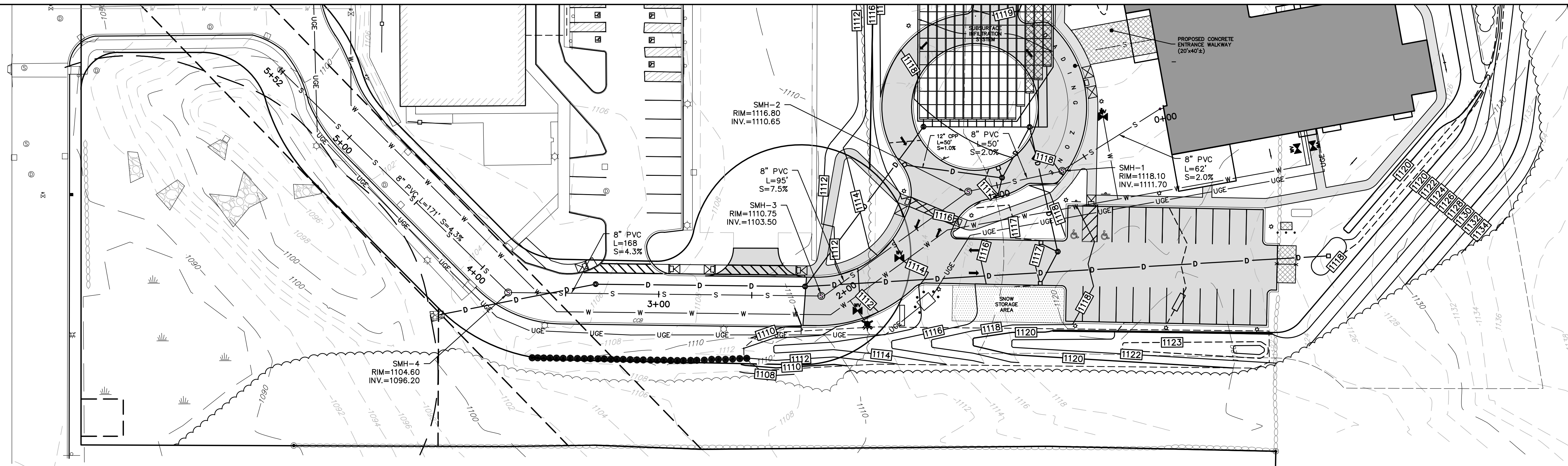
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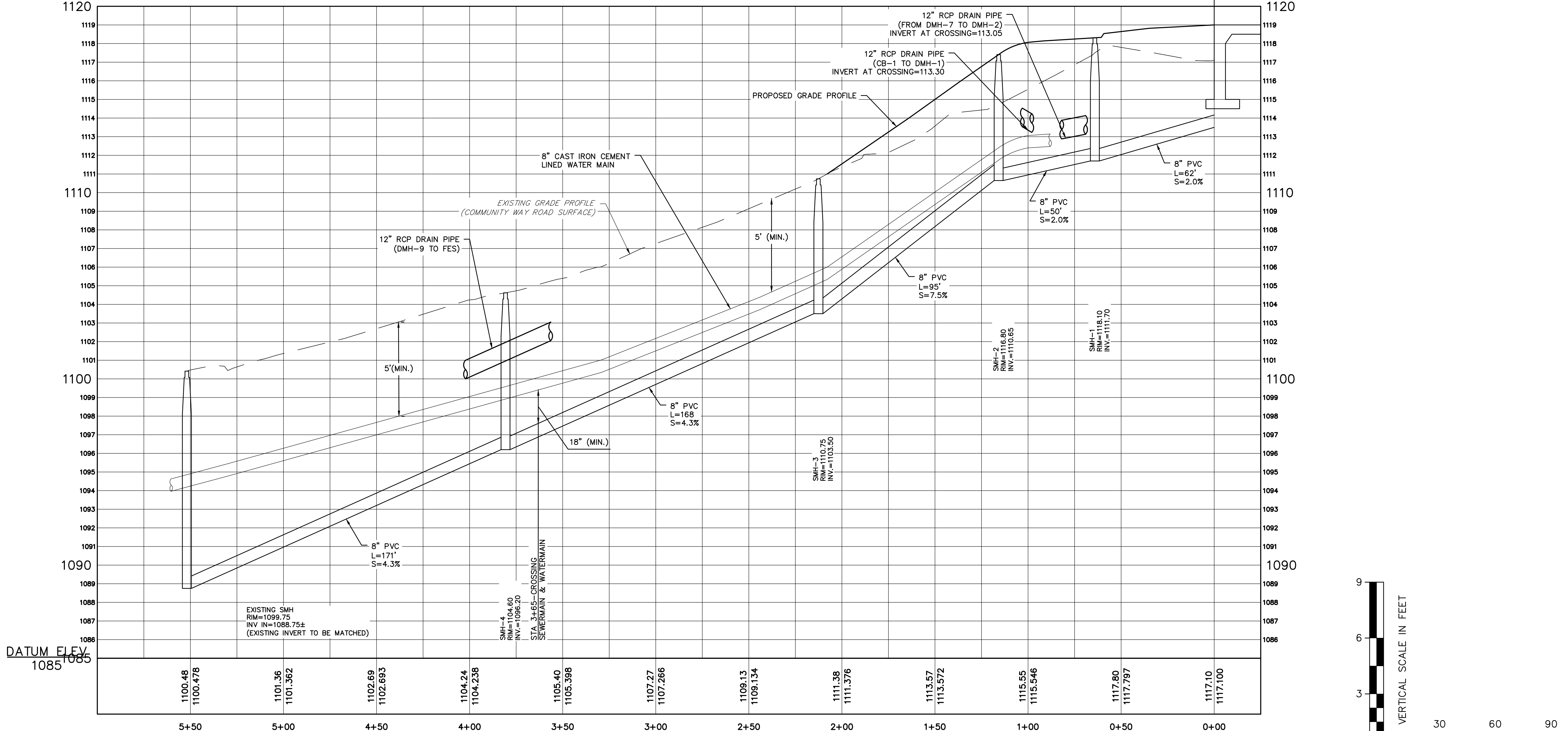


N/F KASKI  
63 WEST MAIN STREET  
MAP 88, PARCEL 3  
DEED BOOK 1739, PAGE 20

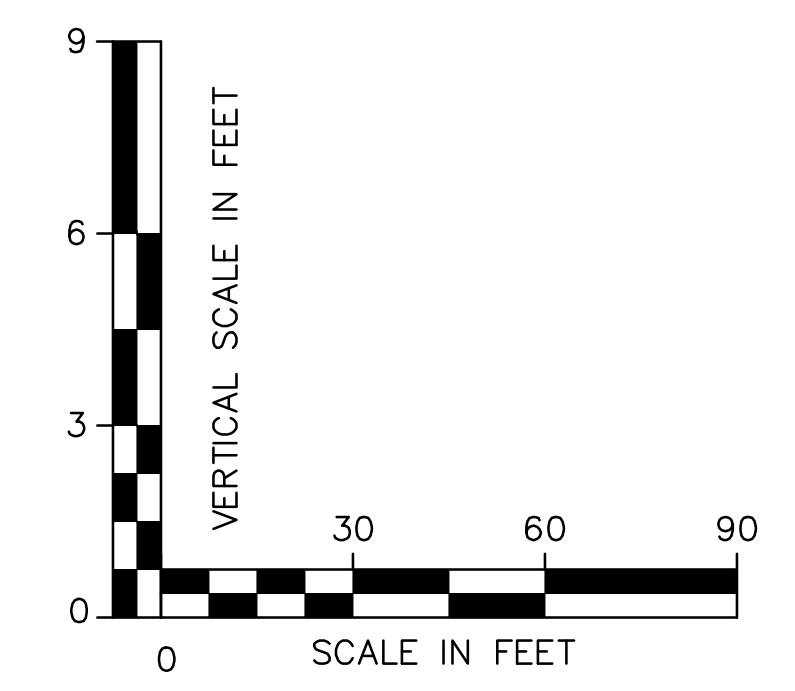




**PLAN**  
SCALE: 1" = 30'



**PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'



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F: 781 648.6601  
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Proposer:  
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Proposer:  
**COMMONWEALTH COMMUNITY DEVELOPERS**

Project:  
**WESTMINSTER SENIOR HOUSING**

Drawing:  
**SEWER PROFILE**

**Project Status**

No.	Description	Date
1	Review Comments	11/22/19
2	Shift Parking Area 11 Ft	12/12/19
3	Adjust SMH-S	1/7/20
6	Footprint, Parking Layout	8/4/21
7	Town Comments	11/10/21
8	Utility & Sidewalk Layout	11/30/21

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Project number:  
**18-553**

Sheet:  
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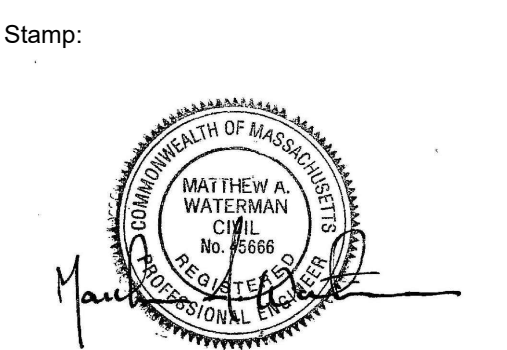


Proposer:  
**COMMONWEALTH  
COMMUNITY  
DEVELOPERS**

Project:  
**WESTMINSTER  
SENIOR  
RESIDENCES**

Drawing:  
**VEHICLE  
TURNING  
EXHIBIT**

Project Status		
No.	Description	Date
1	Review Comments	11/22/19
2	Shift Parking Area 11 Ft	12/12/19
3	Revised Footprint	1/7/20
6	Footprint, Parking Layout	8/4/21
8	Utility & Sidewalk Layout	11/30/21



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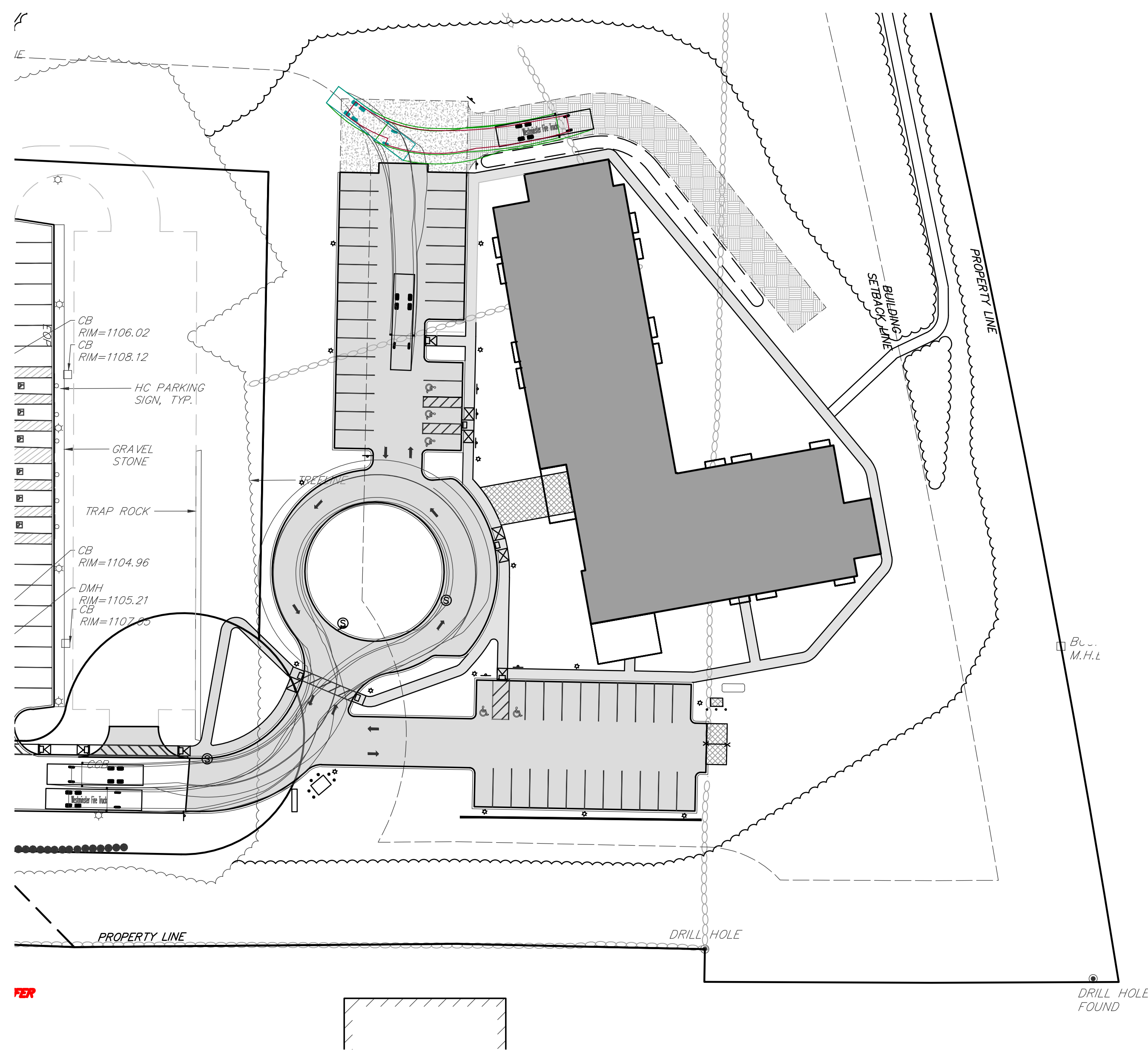
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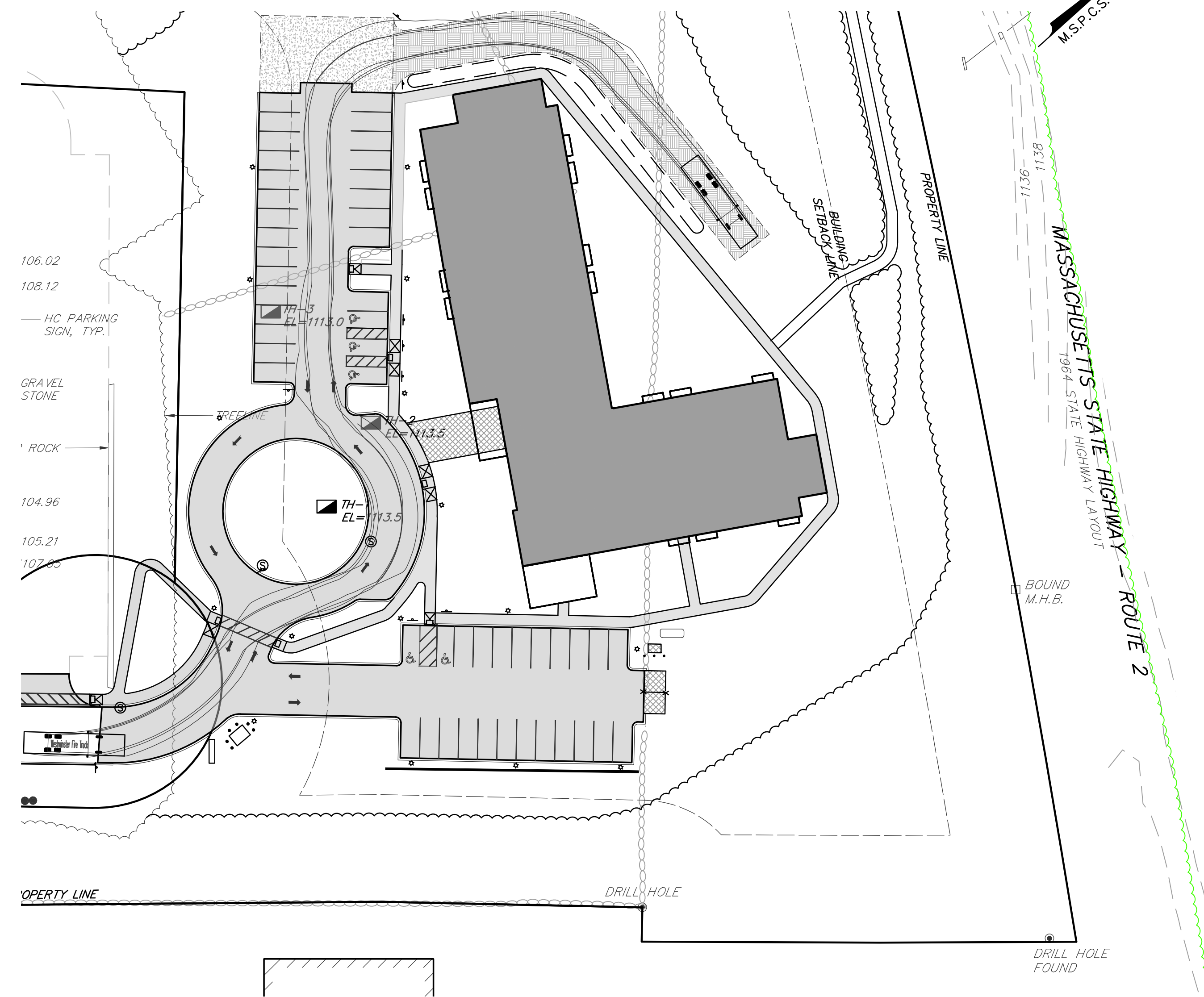
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**ROUNDAABOUT & TURN-AROUND VEHICLE PATHS**

SCALE: 1" = 40'



**EMERGENCY ACCESS ROAD VEHICLE PATH**

SCALE: 1" = 40'



**Westminster Fire Truck**  
 Overall Length 47.000ft  
 Overall Width 10.000ft  
 Overall Body Height 7.715ft  
 Min Body Ground Clearance 0.627ft  
 Track Width 8.000ft  
 Lock-to-lock time 5.00s  
 Max Wheel Angle 38.70°

**WESTMINSTER FIRE TRUCK DESIGN**







89 MASSACHUSETTS AVE.  
ARLINGTON, MA 02474

P: 781 648.6600  
F: 781 648.6601

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Proposer:



Proposer:

COMMONWEALTH  
COMMUNITY  
DEVELOPERS

Project:

WESTMINSTER  
SENIOR  
RESIDENCES

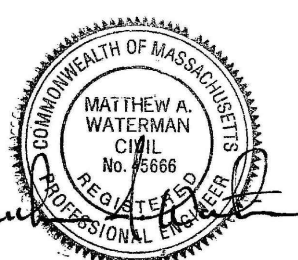
Drawing:

TRAIL  
LOCATION  
PLAN

Project Status

Revisions:	No.	Description	Date
1	1	Review Comments	11/22/19
2	2	Shift Parking Area 11 Ft	12/12/19
3	3	Adjust Landscape Berm	1/7/20
4	4	Footprint, Parking, Grades	12/18/20
5	5	Footprint, Parking, Grades	6/24/21
6	6	Footprint, Parking Layout	8/4/21
7	7	Town Comments	11/10/21
8	8	Utility & Sidewalk Layout	11/30/21

Stamp:



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Project number:

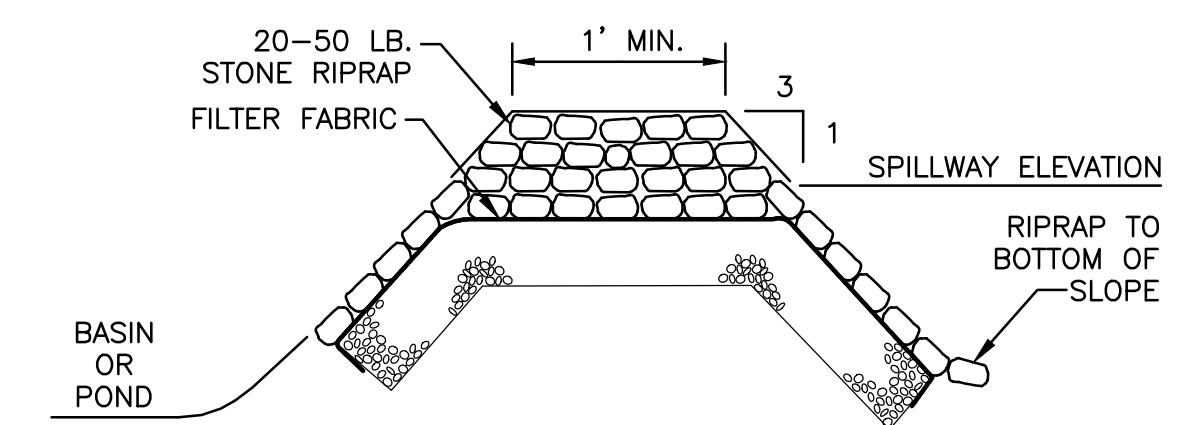
18-553

Sheet:

C-9

NOTES

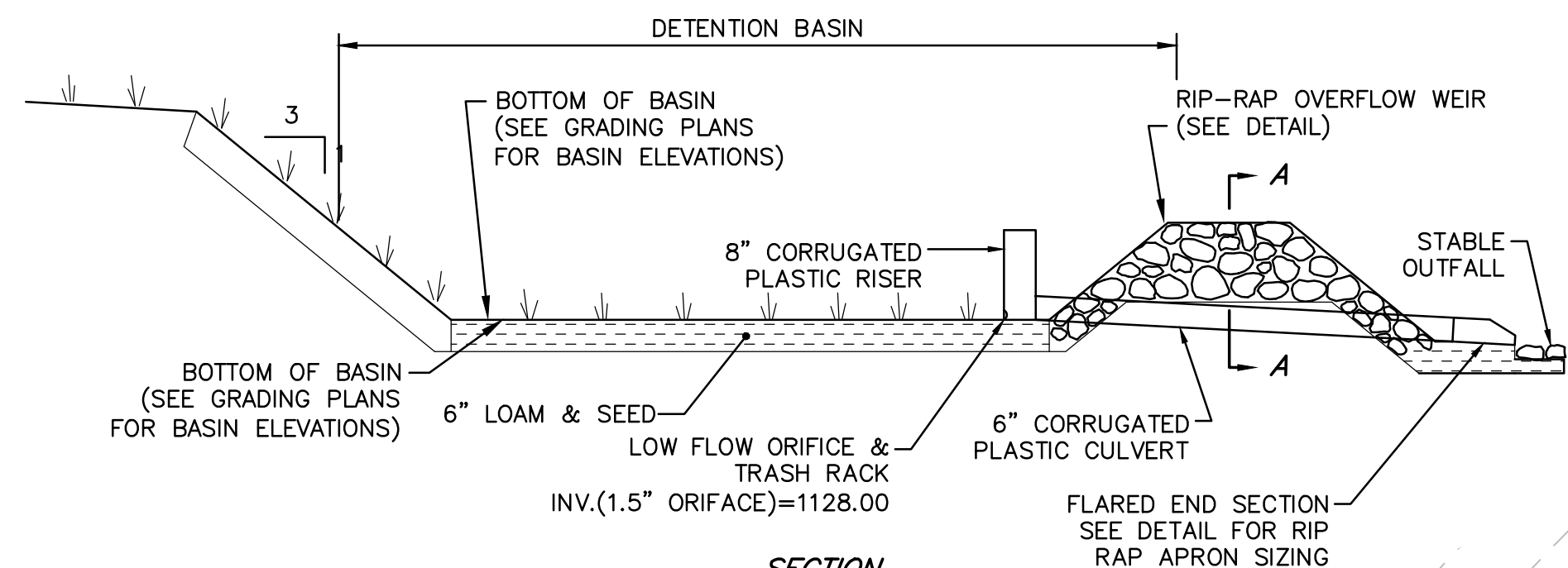
- SEE TYPICAL TRAIL DETAIL ON DETAIL SHEET #3, SHEET C-11.



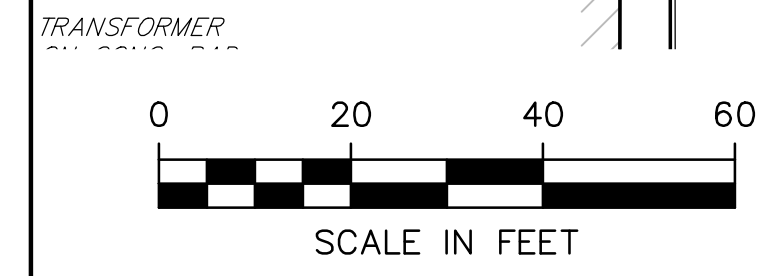
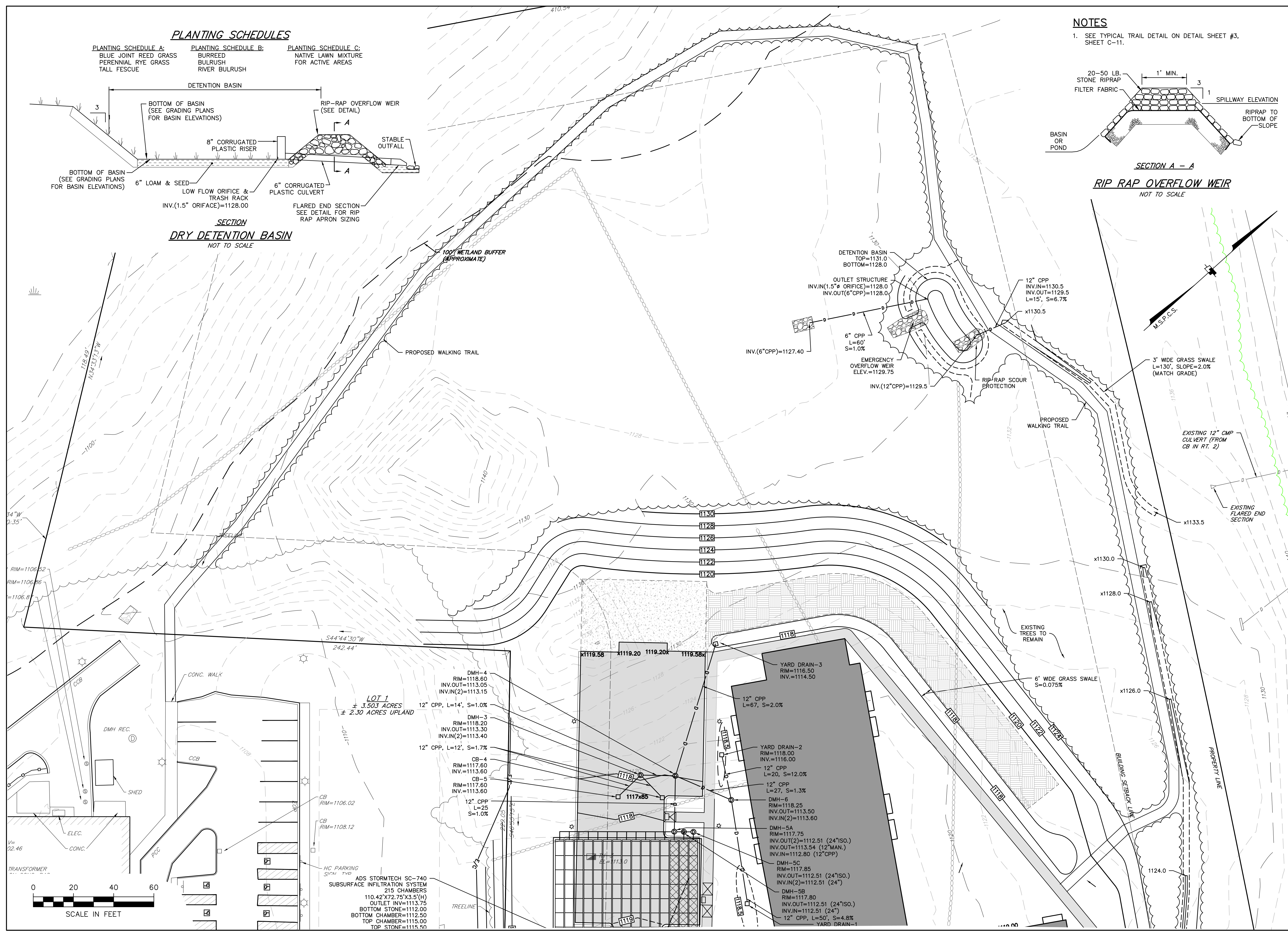
SECTION A - A  
RIP RAP OVERFLOW WEIR  
NOT TO SCALE

PLANTING SCHEDULES

- PLANTING SCHEDULE A:  
BLUE JOINT REED GRASS  
PERENNIAL RYE GRASS  
TALL FESCUE
- PLANTING SCHEDULE B:  
BURREED  
BULRUSH  
RIVER BULRUSH
- PLANTING SCHEDULE C:  
NATIVE LAWN MIXTURE  
FOR ACTIVE AREAS



SECTION  
DRY DETENTION BASIN  
NOT TO SCALE



ADS STORMTECH SC-740  
SUBSURFACE INFILTRATION SYSTEM  
215 CHAMBERS  
110.42'X72.75'X3.5'(H)  
OUTLET INV.=1113.75  
BOTTOM STONE=1112.00  
BOTTOM CHAMBER=1112.50  
TOP CHAMBER=1115.00  
TOP STONE=1115.50





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P: 781 648.6600 F: 781 648.6601

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COMMONWEALTH COMMUNITY DEVELOPERS

Project:

WESTMINSTER SENIOR HOUSING

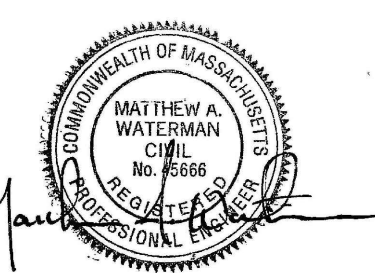
Drawing:

DETAIL SHEET -1 PLAN

Project Status

No.	Description	Date
1	Review Comments	11/21/19
2	Shift Parking Area 11 Ft	12/12/19

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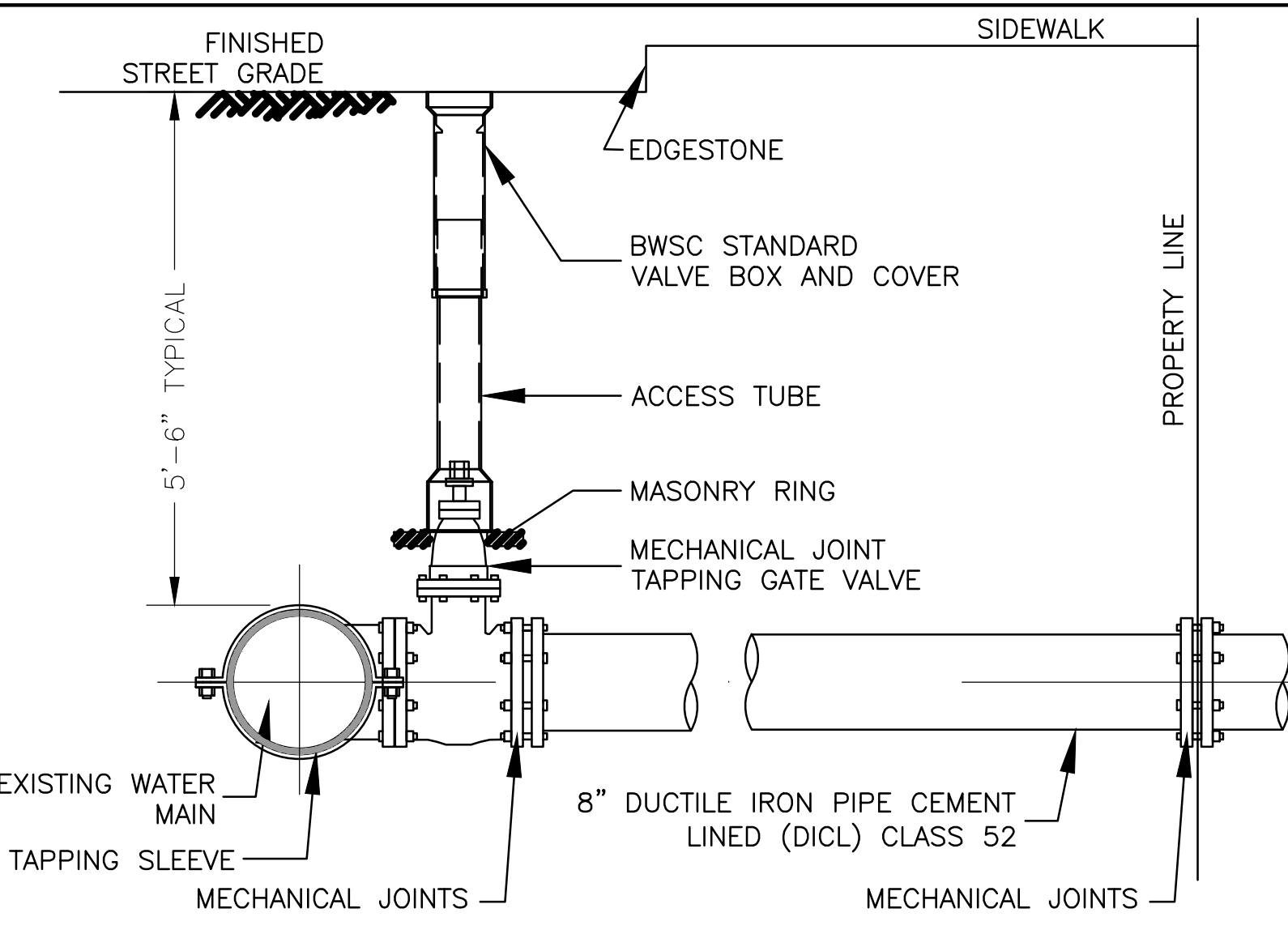
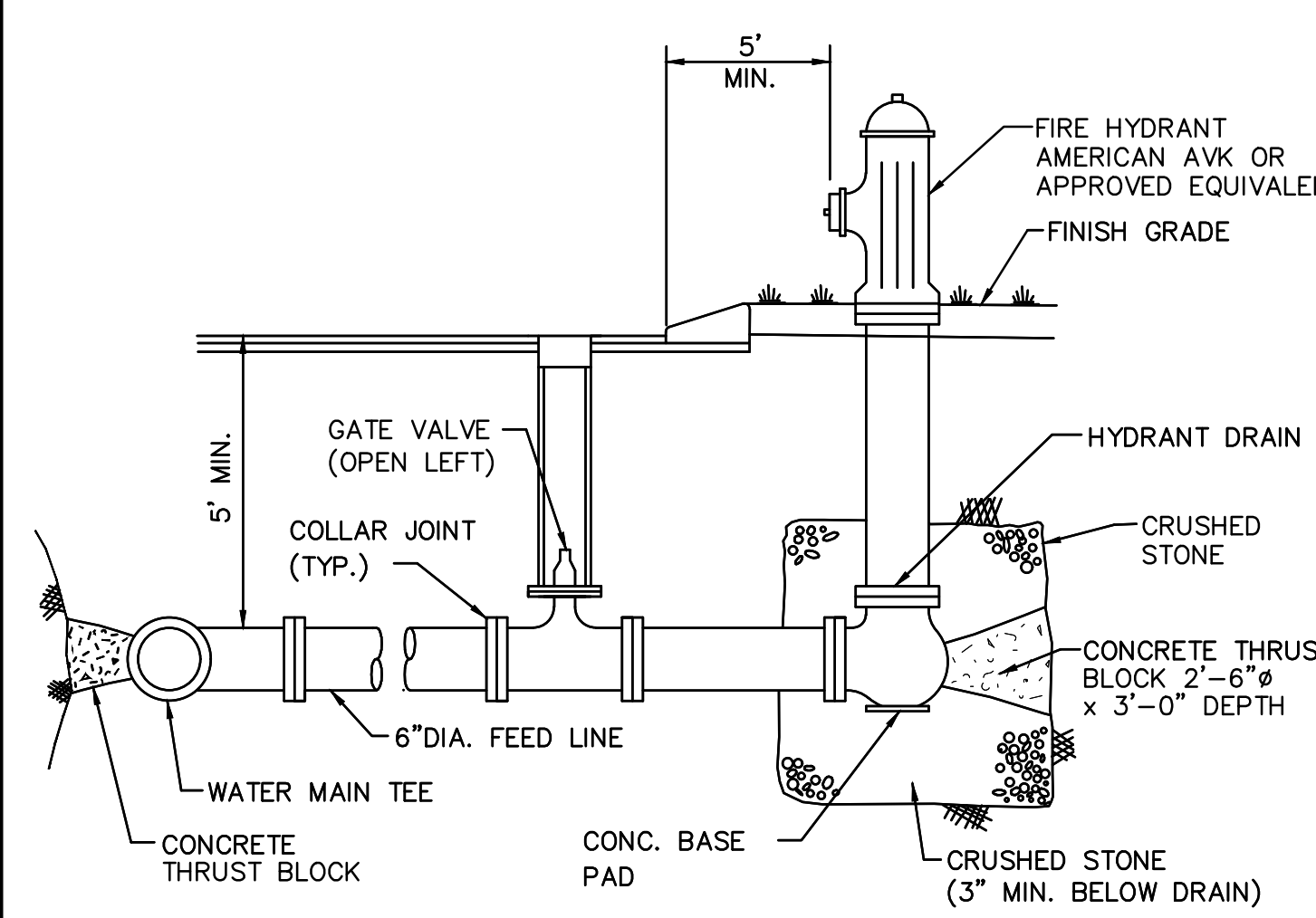
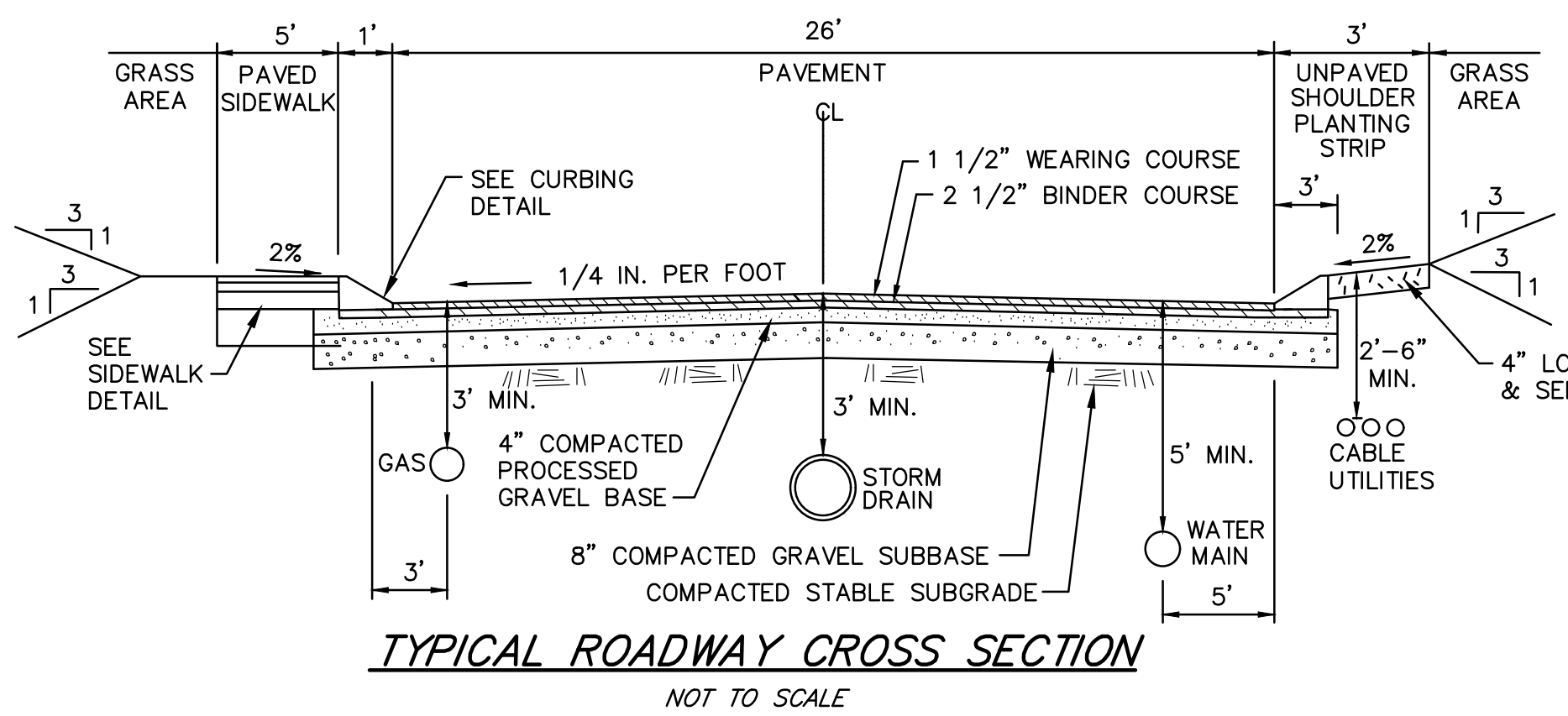
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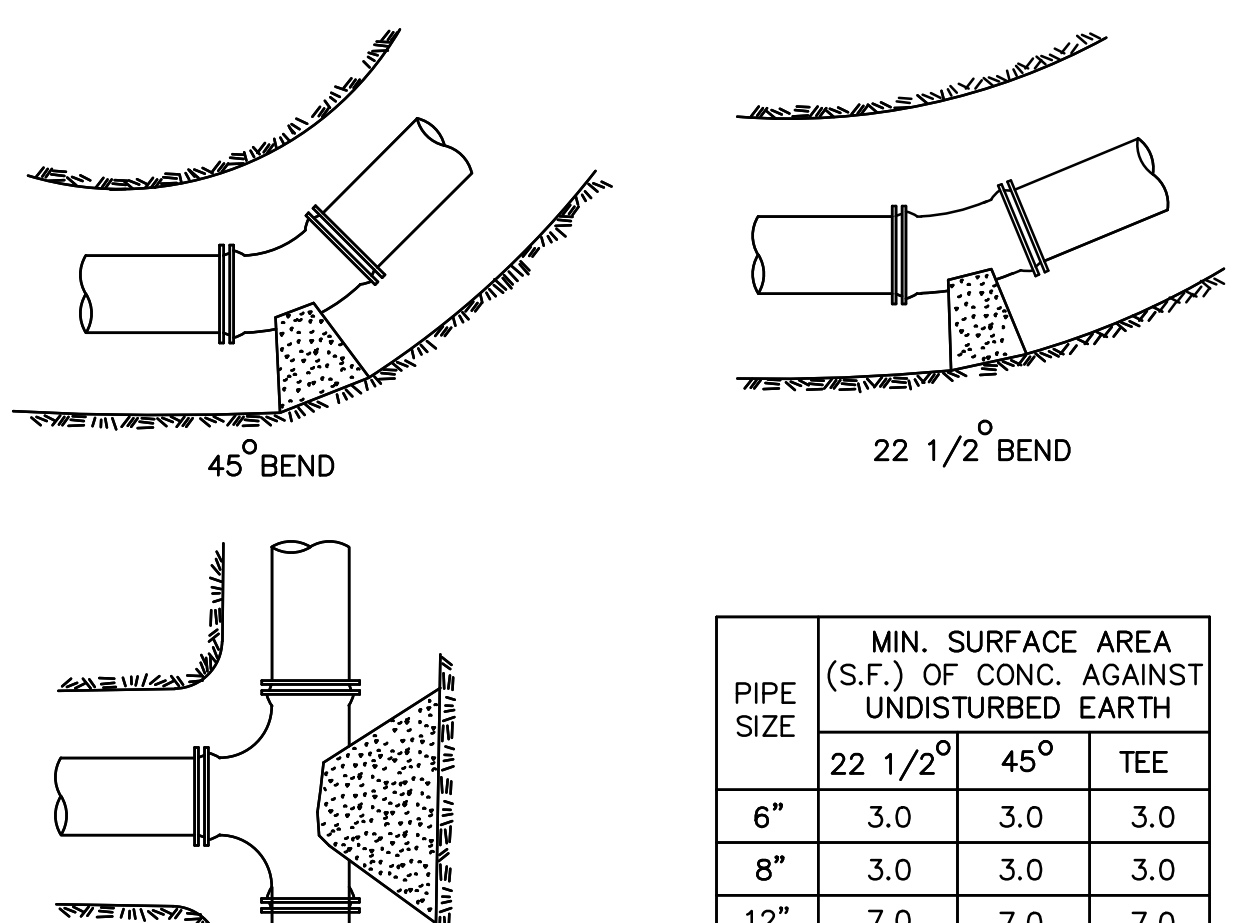
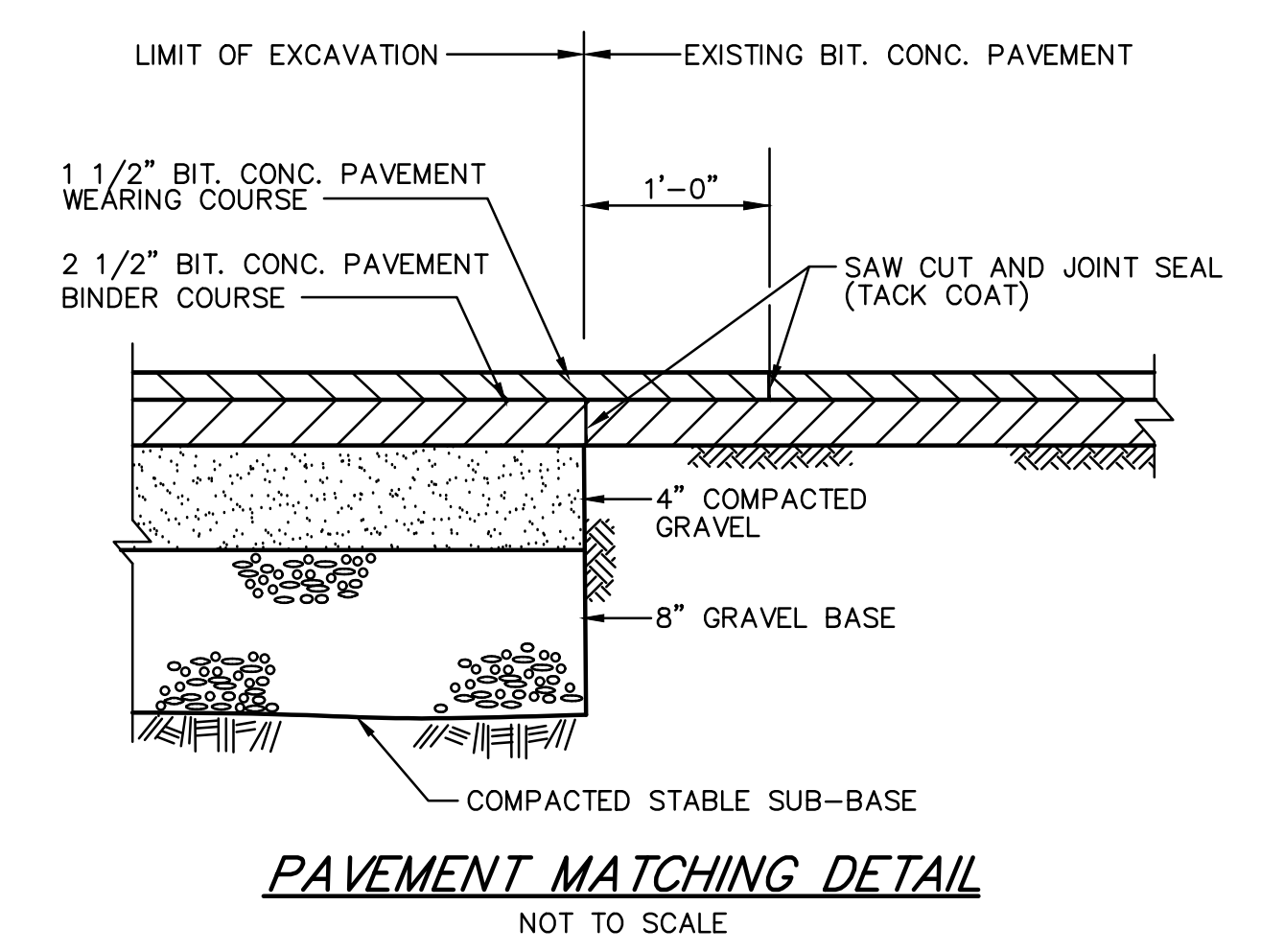
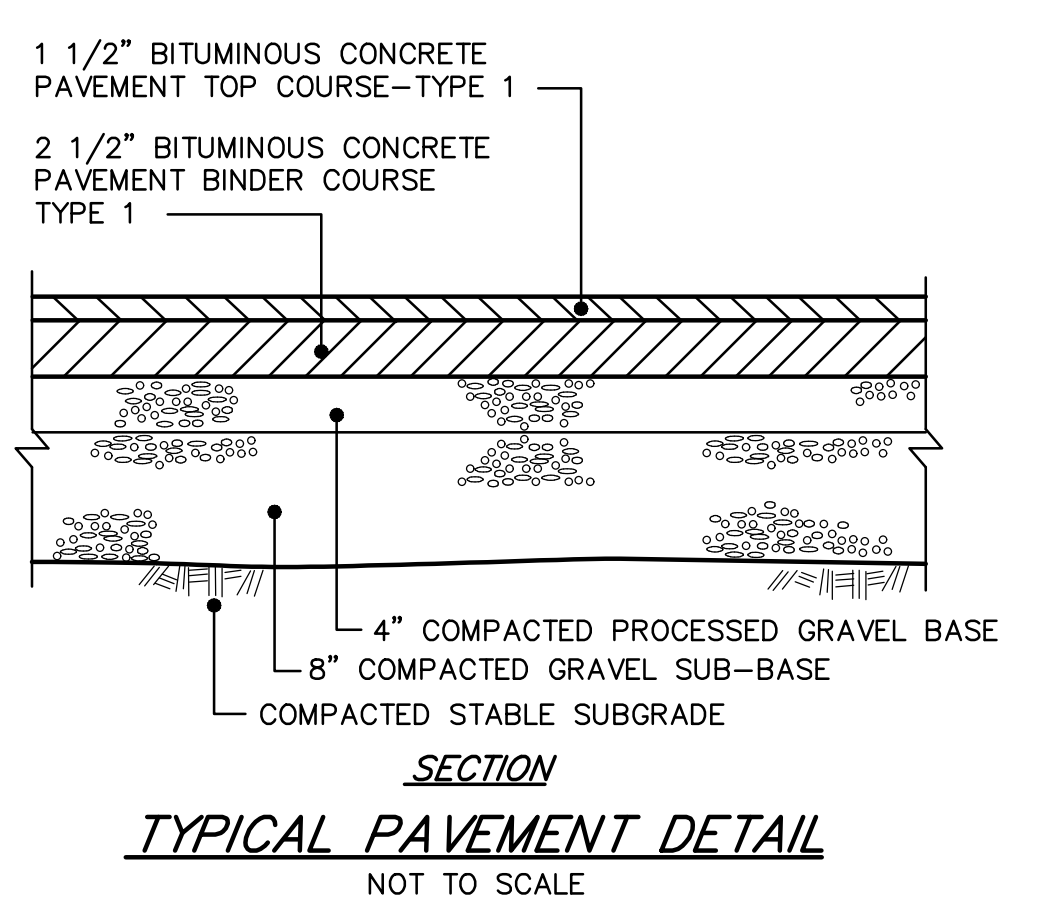
18-553

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C-10

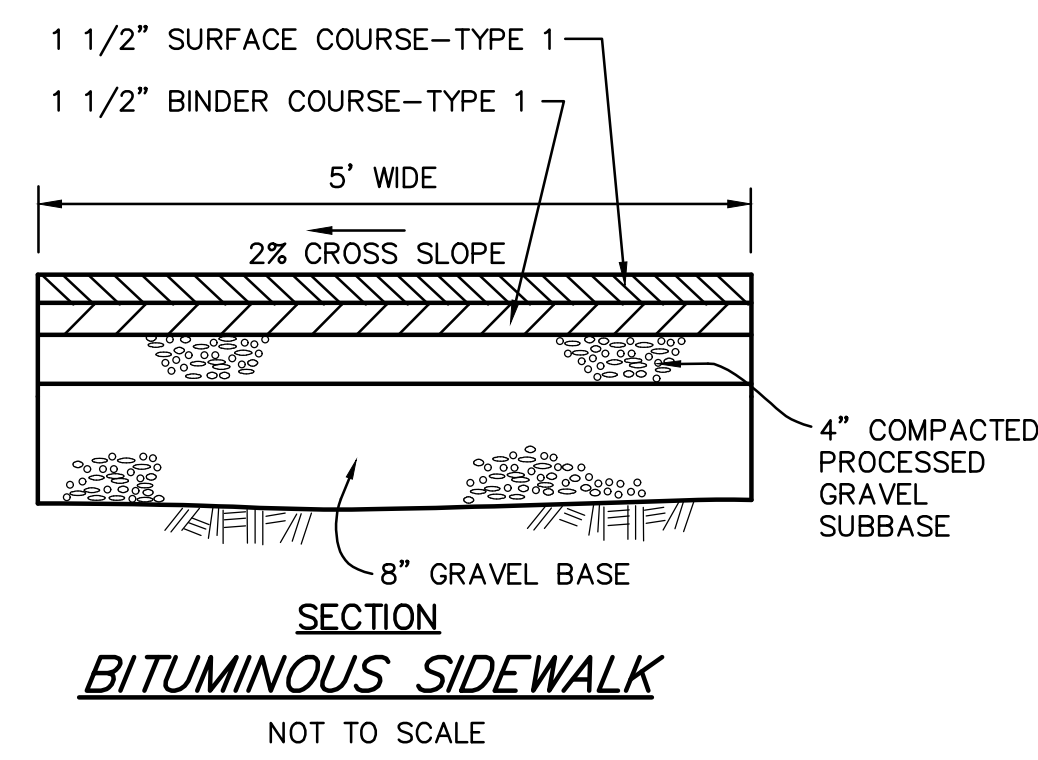
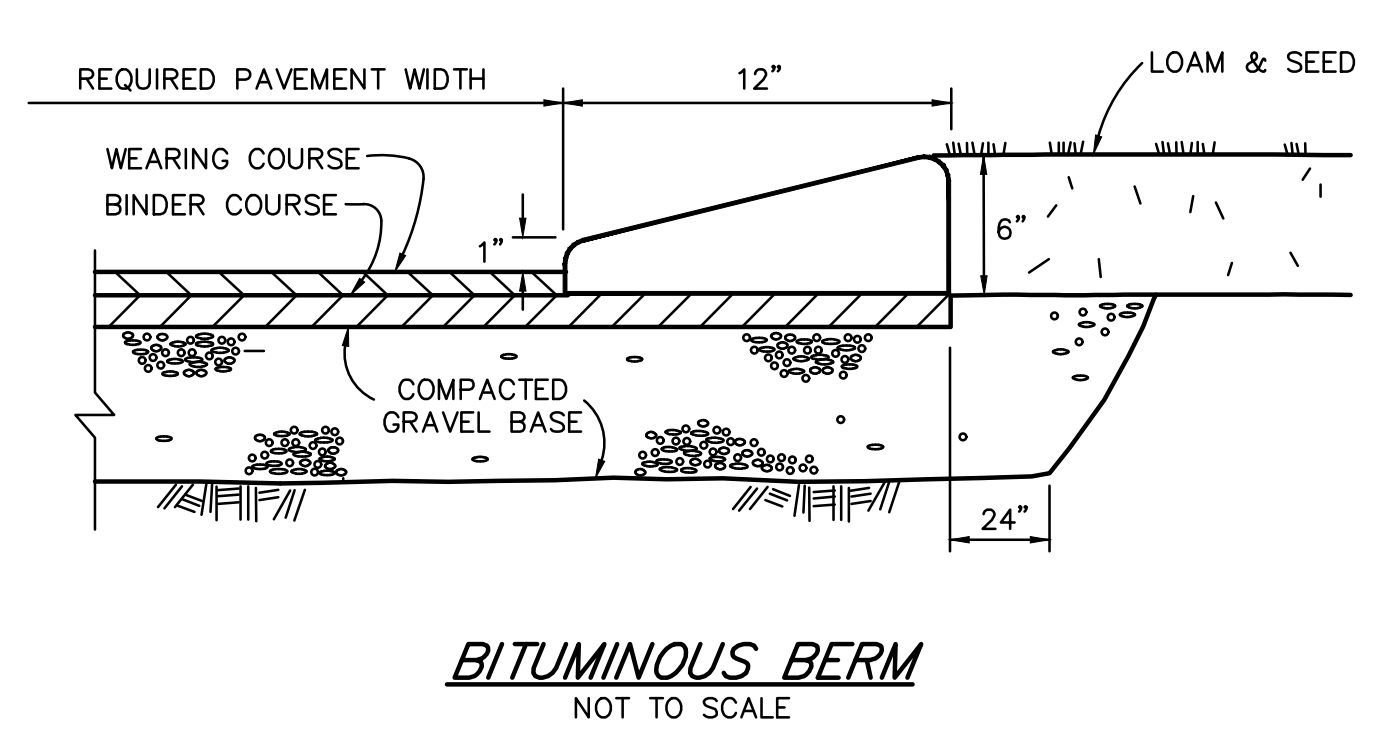
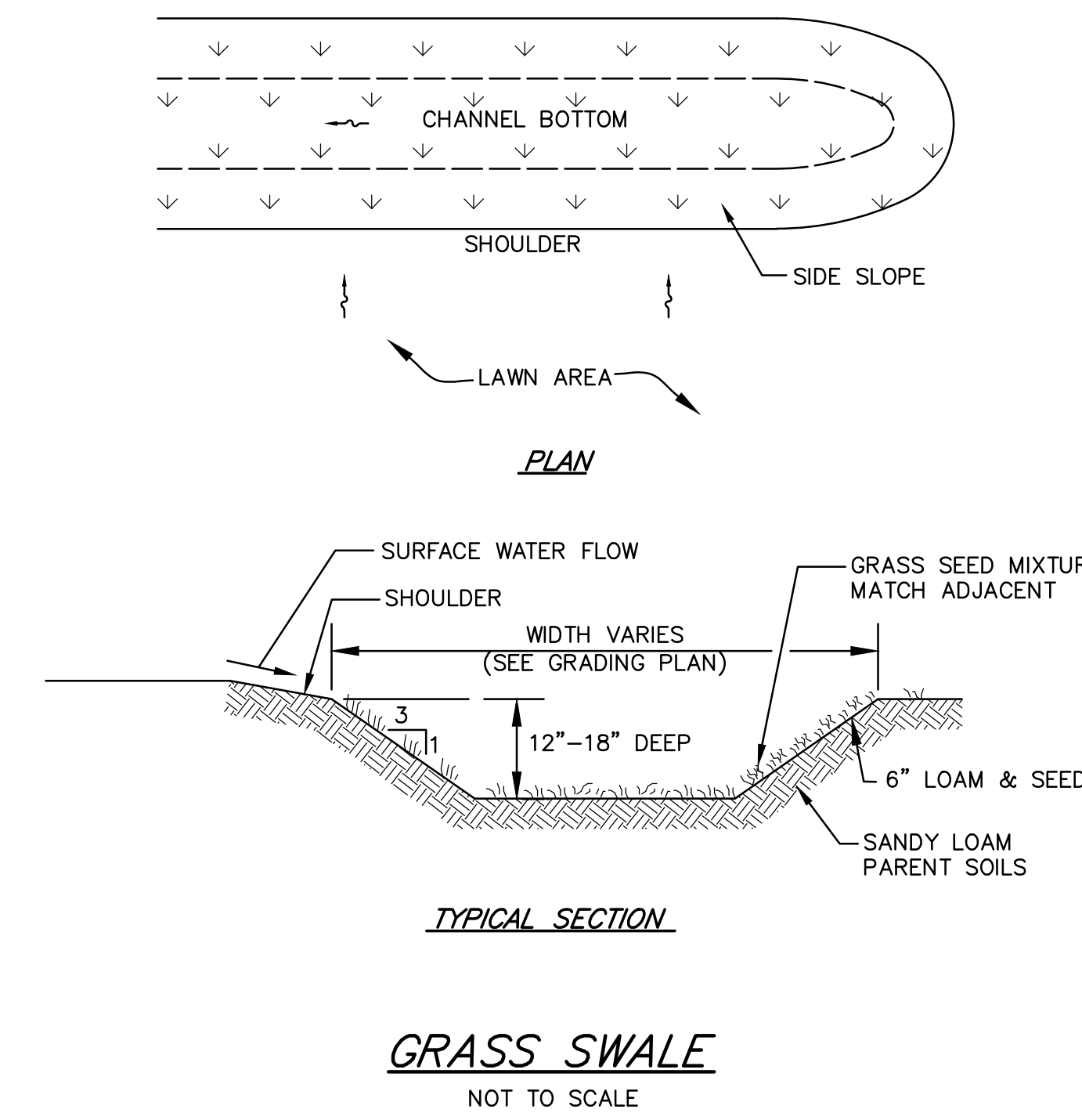


- NOTES:
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.
  - USE RESTRAINED JOINT FITTINGS OR TIE RODS WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.
  - SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.
  - ALL WATER GATE VALVES SHALL BE OPEN LEFT MODELS.

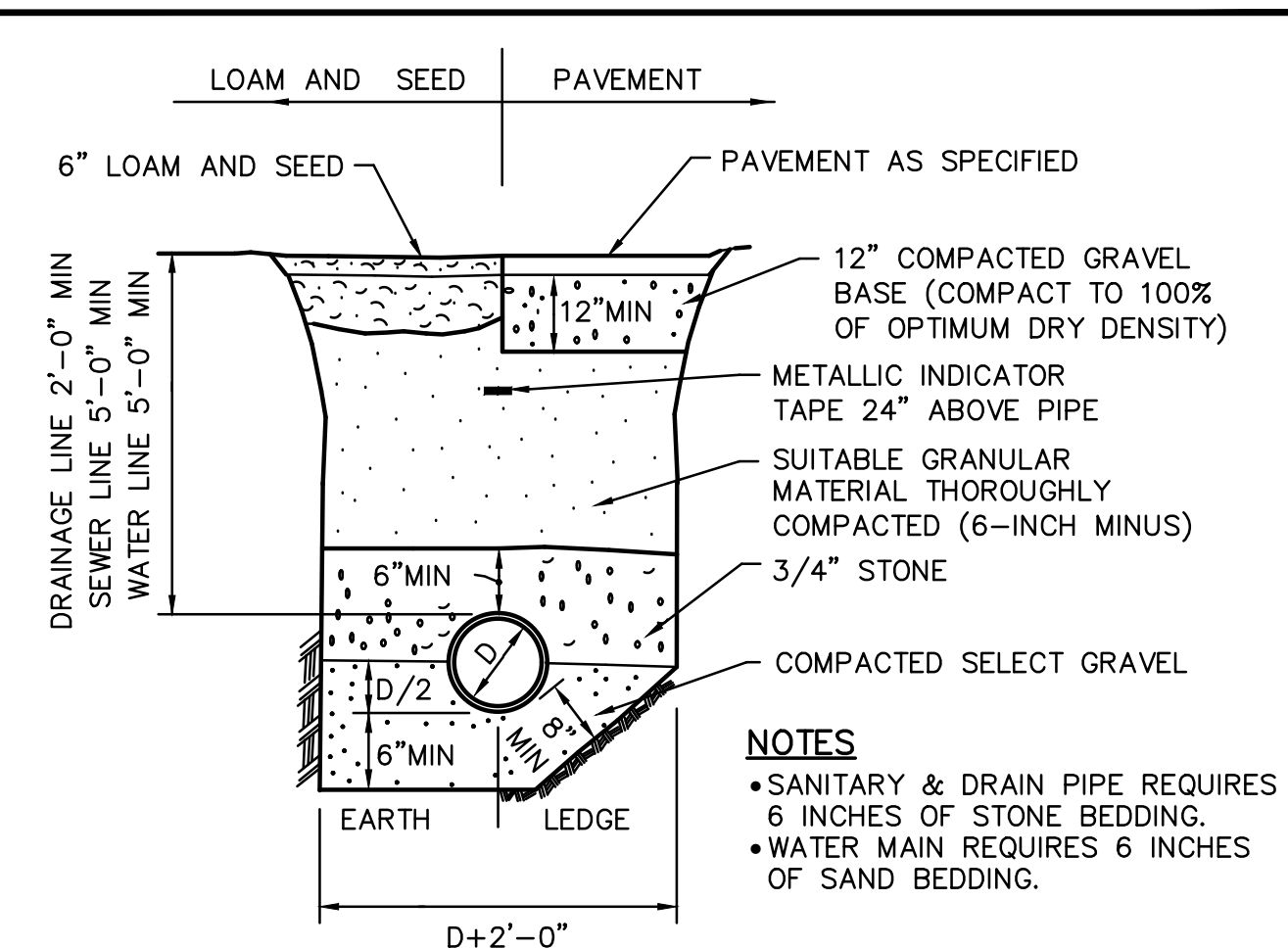


PIPE SIZE	MIN. SURFACE AREA (S.F.) OF CONC. AGAINST UNDISTURBED EARTH		
	22 1/2°	45°	TEE
6"	3.0	3.0	3.0
8"	3.0	3.0	3.0
12"	7.0	7.0	7.0

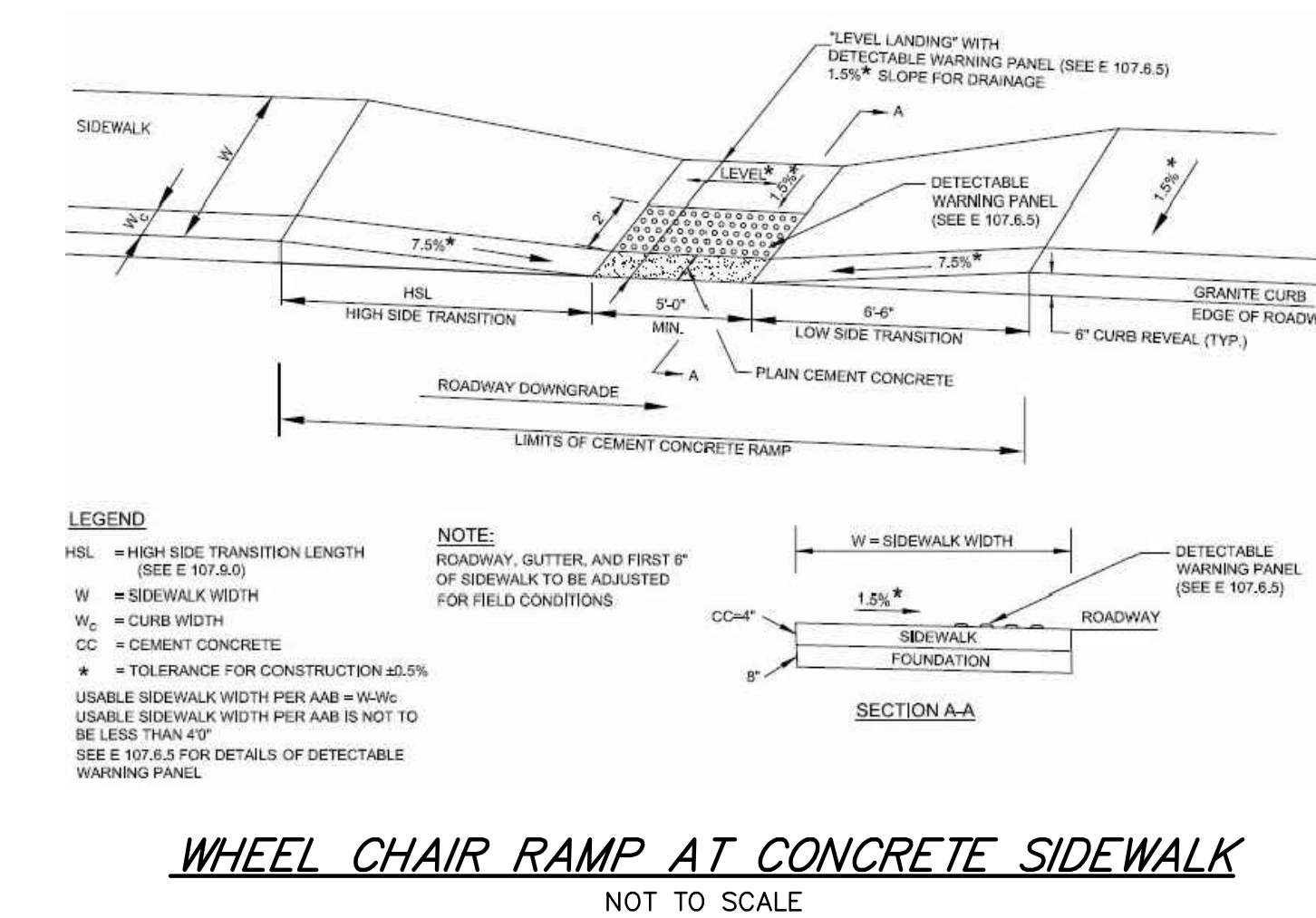
NOTE: INSTALL THRUST BLOCKS AT ALL BENDS, TEES, PLUGS, AND HYDRANTS.



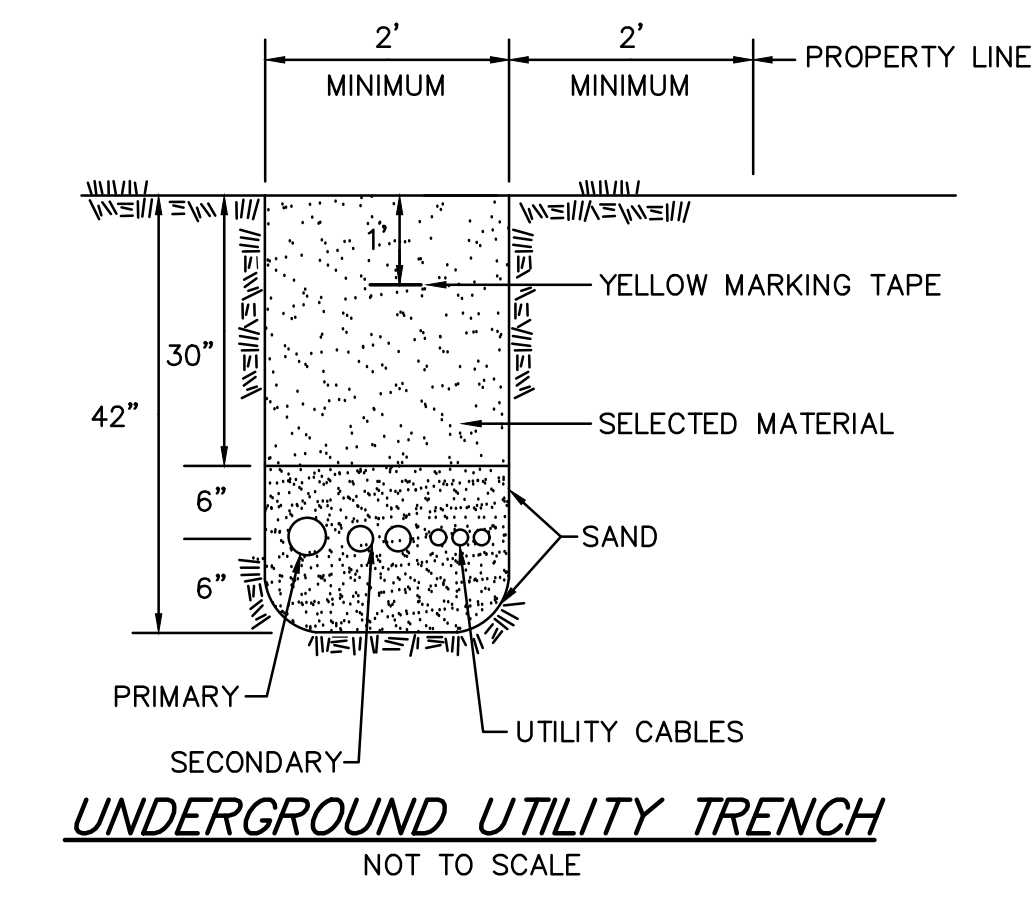
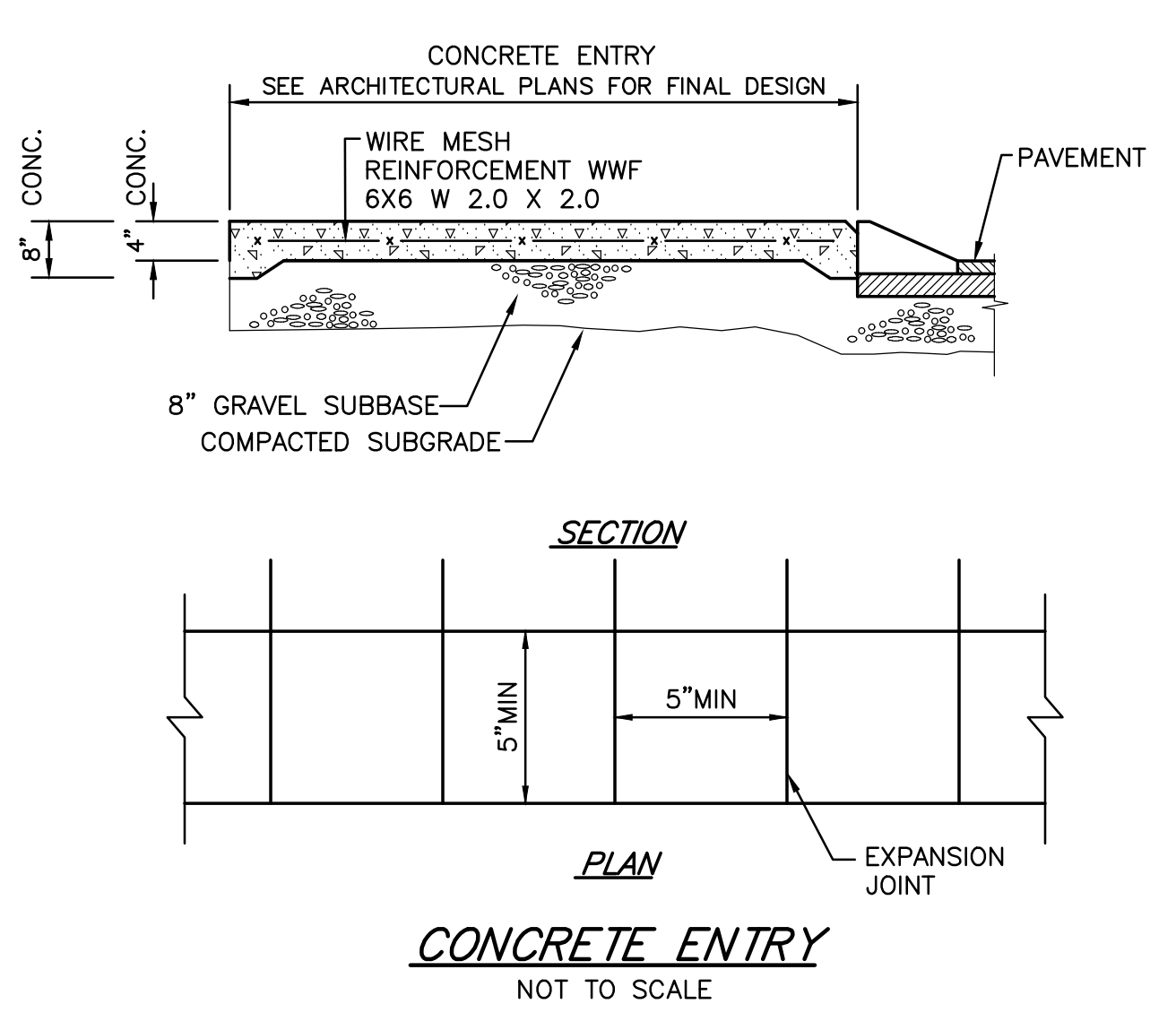
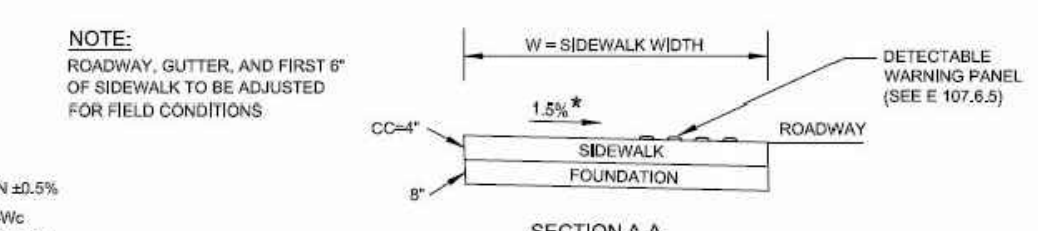
- NOTE:
- MAINTAIN 2% CROSS SLOPE ACROSS ALL DRIVEWAY CROSSING.
  - SIDEWALK SHALL MEET ADA REQUIREMENTS.



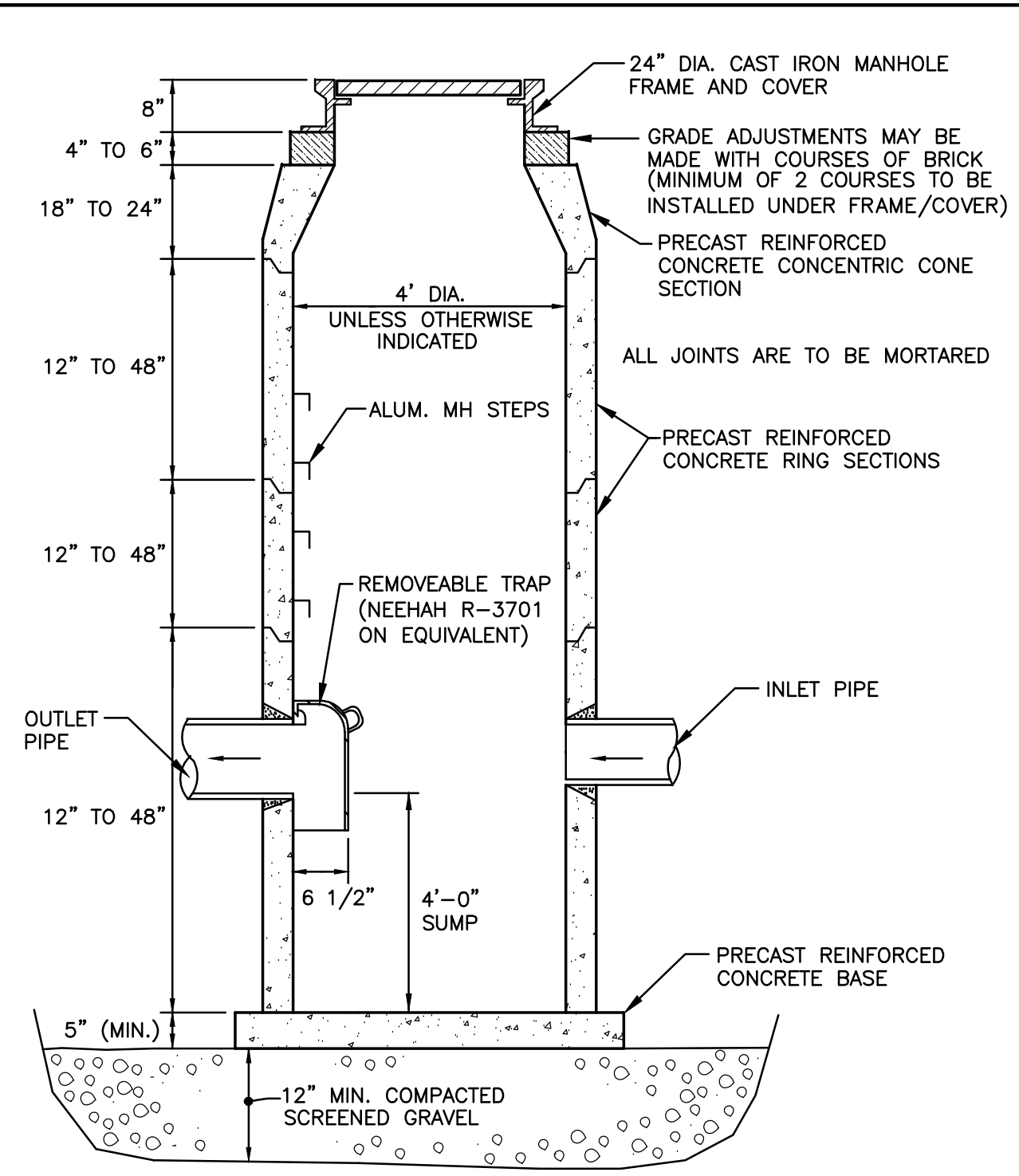
- NOTES:
- SANITARY & DRAIN PIPE REQUIRES 6 INCHES OF STONE BEDDING.
  - WATER MAIN REQUIRES 6 INCHES OF SAND BEDDING.



- LEGEND:
- HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.6.5)
  - W = SIDEWALK WIDTH
  - Wc = CURB WIDTH
  - CC = CEMENT CONCRETE
  - \* = TOLERANCE FOR CONSTRUCTION ±0.5%
  - USABLE SIDEWALK WIDTH PER AAS = WAW
  - USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN "0"
  - SEE E 107.6.5 FOR DETAILS OF DETECTABLE WARNING PANEL



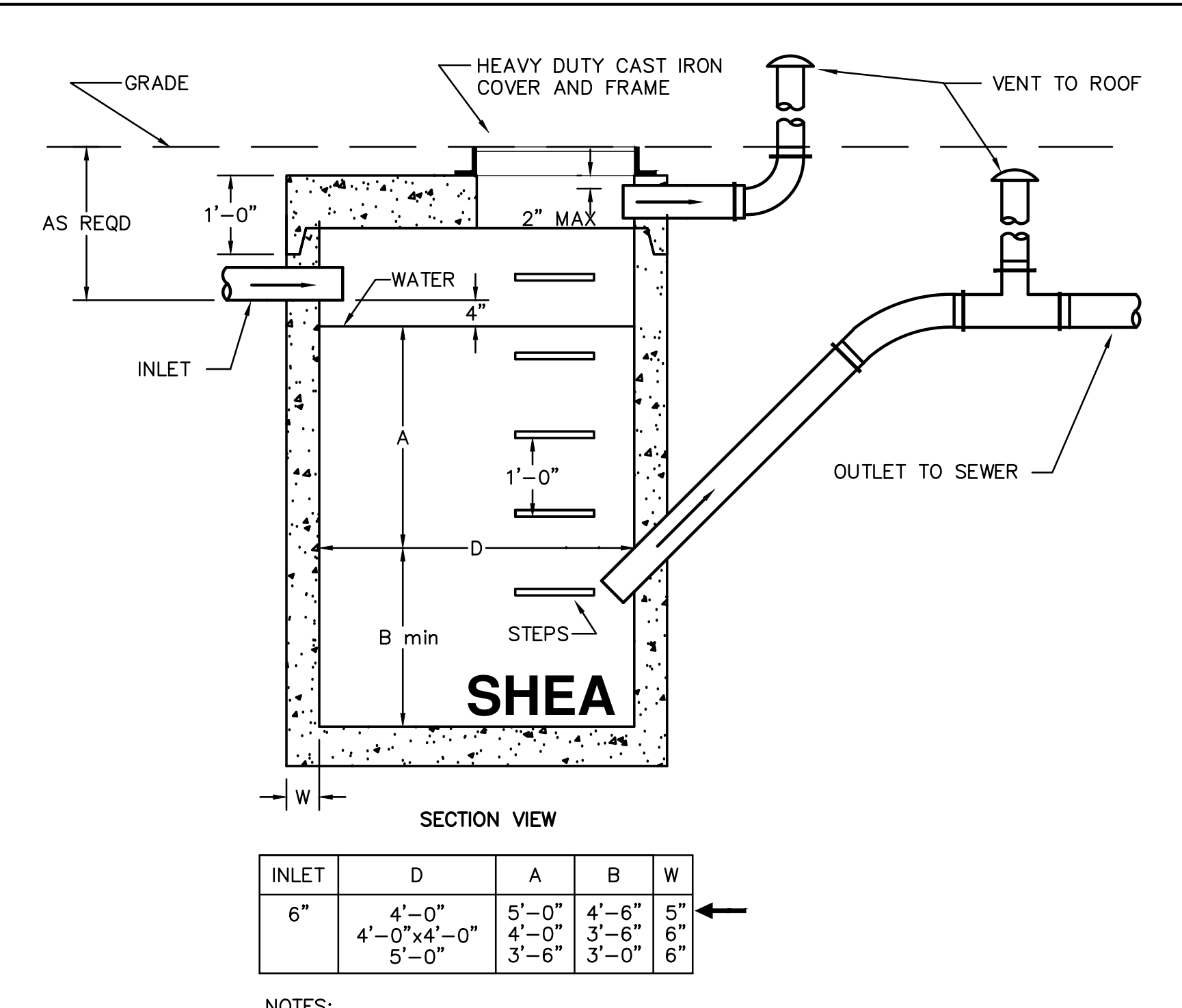




**SECTION CATCH BASIN**  
NOT TO SCALE

**NO DUMPING**  
  
**DRAINS TO WETLANDS**

NOTES:  
1. "NO DUMPING - DRAINS TO WETLANDS" SIGN TO BE AFFIXED TO EACH CATCH BASIN IN ROADWAY AND FLOOR DRAIN IN GARAGE.

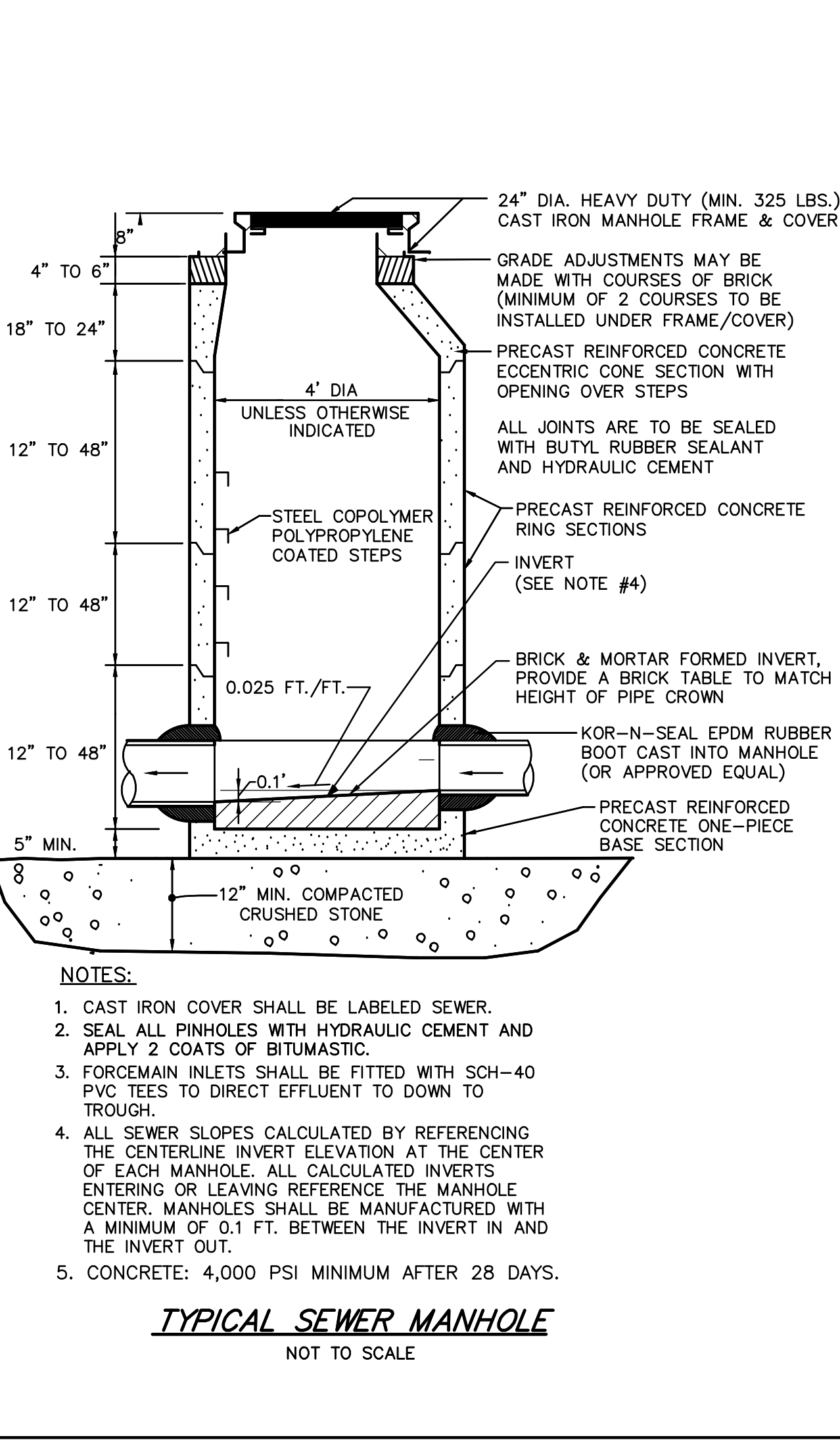


**SECTION VIEW SHEA**  
NOT TO SCALE

INLET	D	A	B	W
6"	4'-0"	5'-0"	4'-6"	5"
	4'-0"x4'-0"	4'-0"	3'-6"	6"
	5'-0"	3'-6"	3'-0"	6"

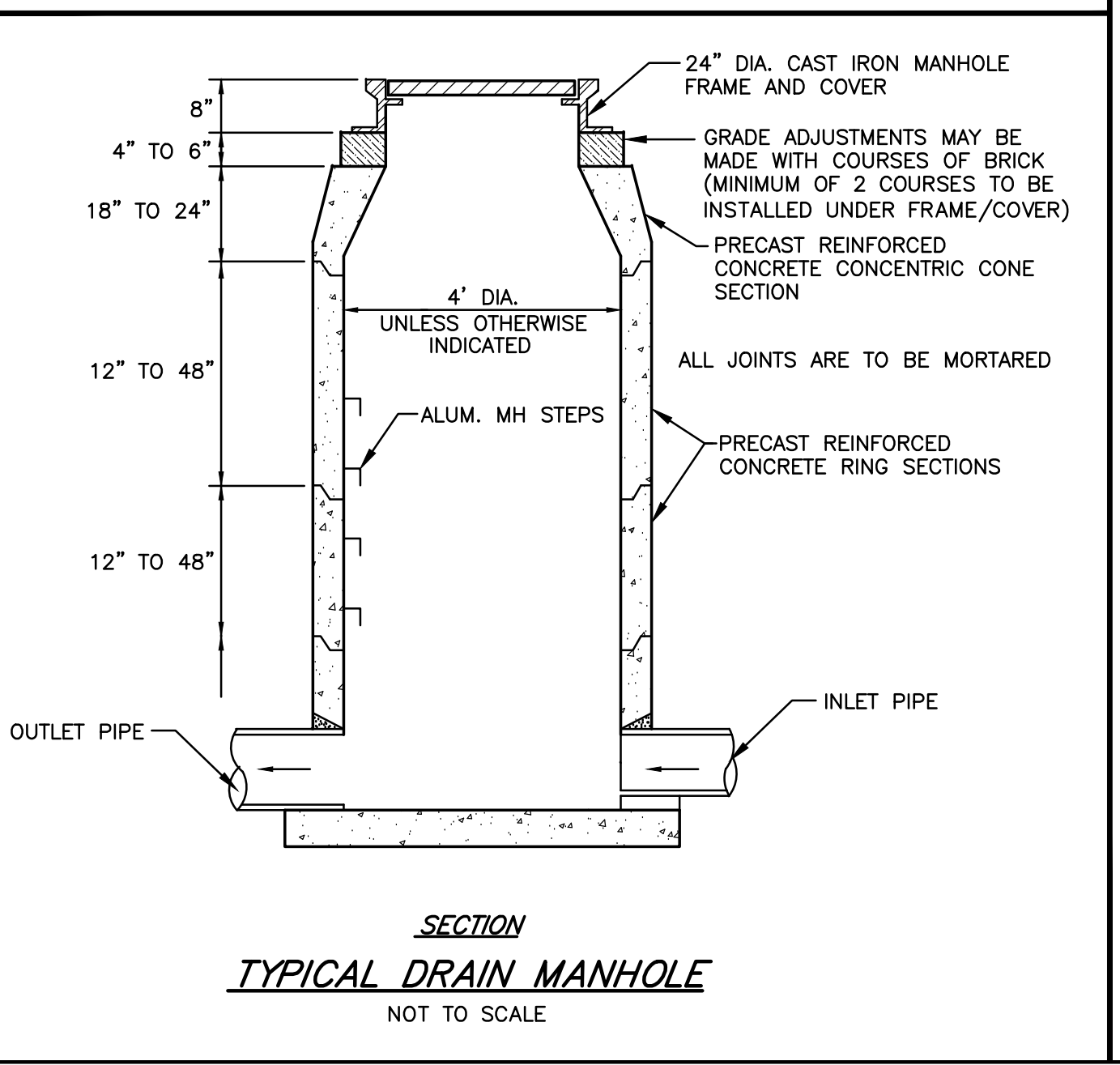
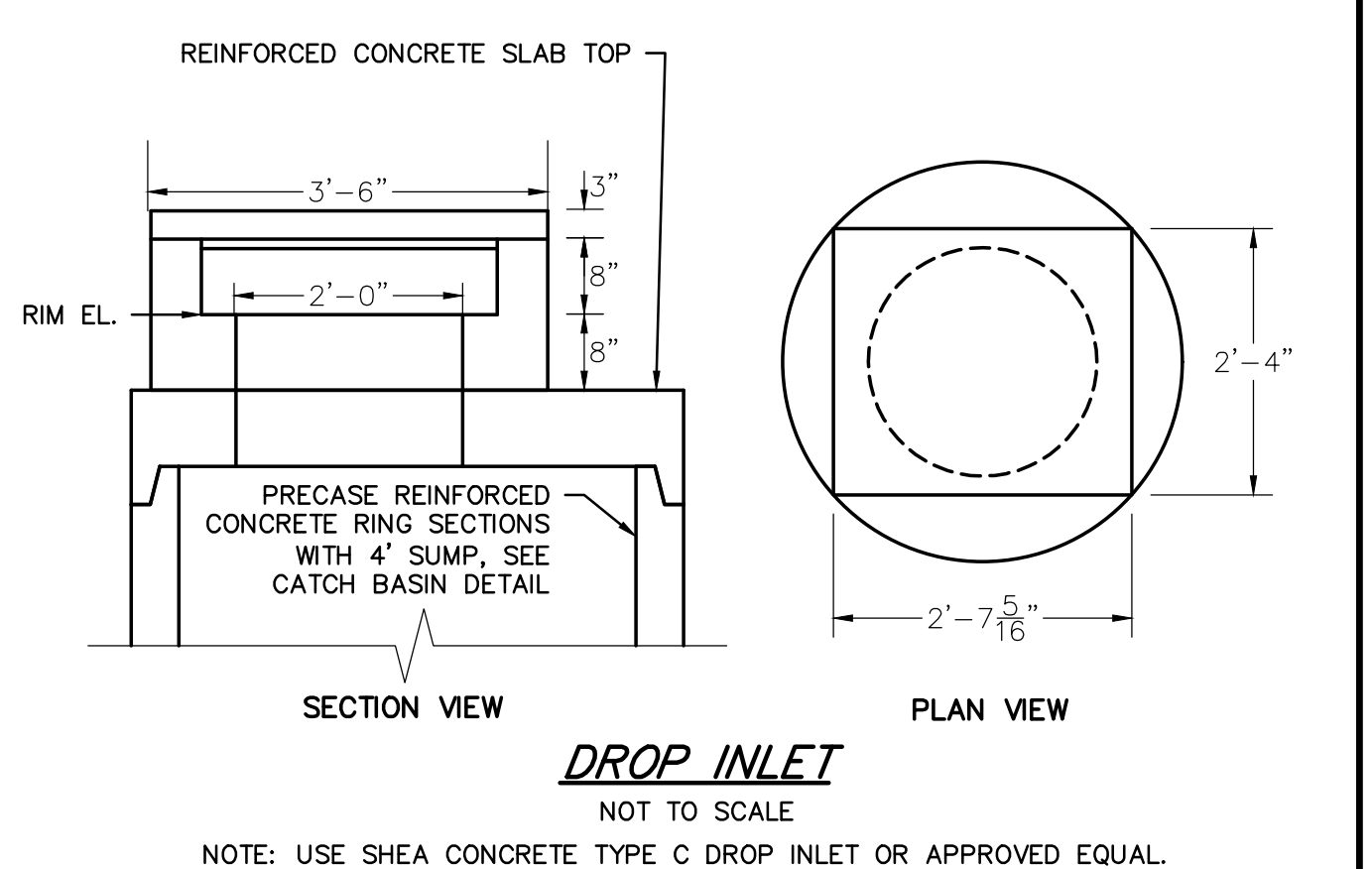
NOTES:  
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.  
2. MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."  
3. BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.  
4. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.  
5. PIPE NOT SUPPLIED.  
6. CONE SECTION AVAILABLE IN 4'-0" I.D. ONLY.  
7. FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSION WILL BE DETERMINED FOR EACH PARTICULAR CASE.

**OIL & GREASE SEPARATOR**  
NOT TO SCALE

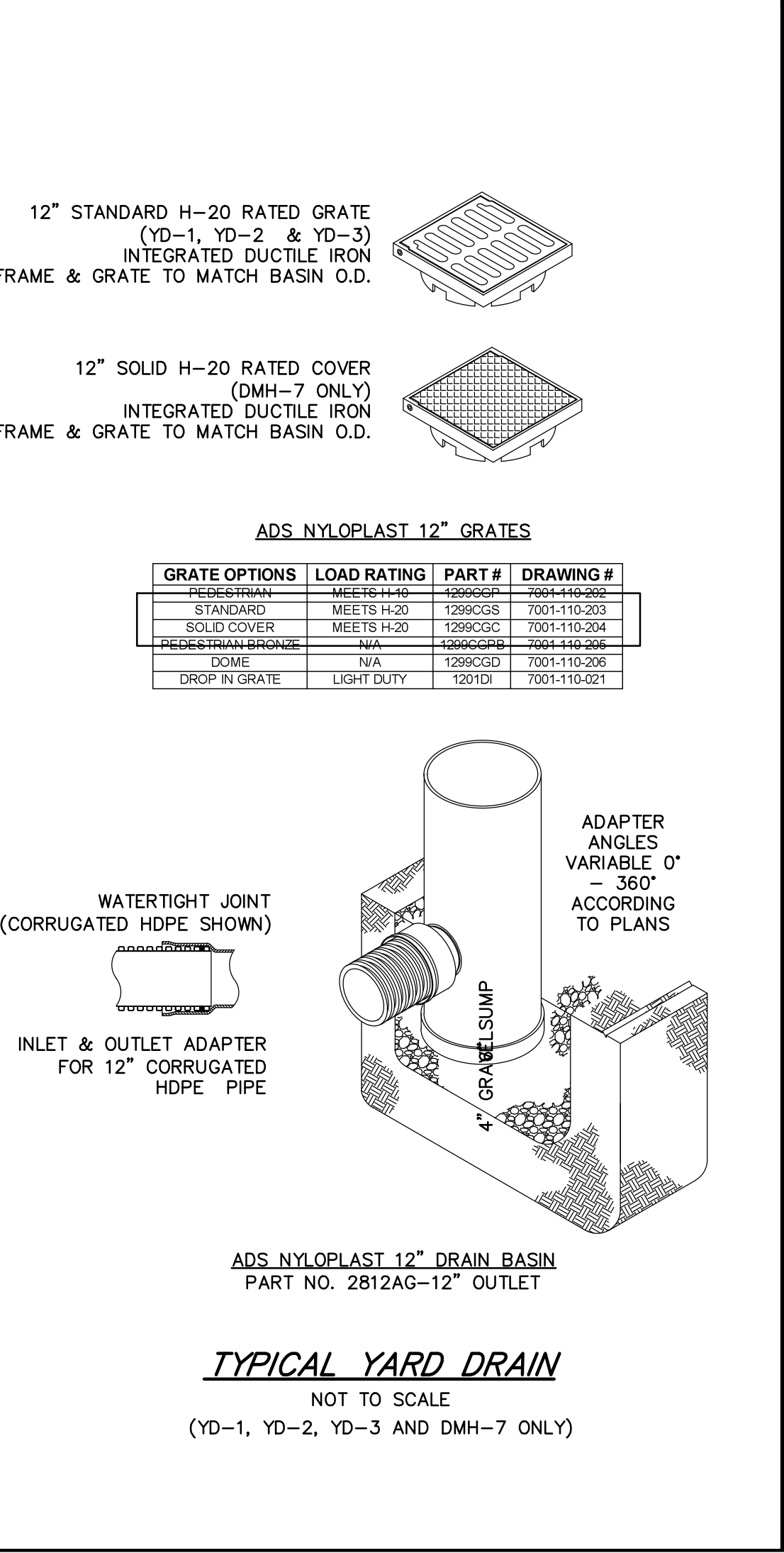


**SECTION TYPICAL SEWER MANHOLE**  
NOT TO SCALE

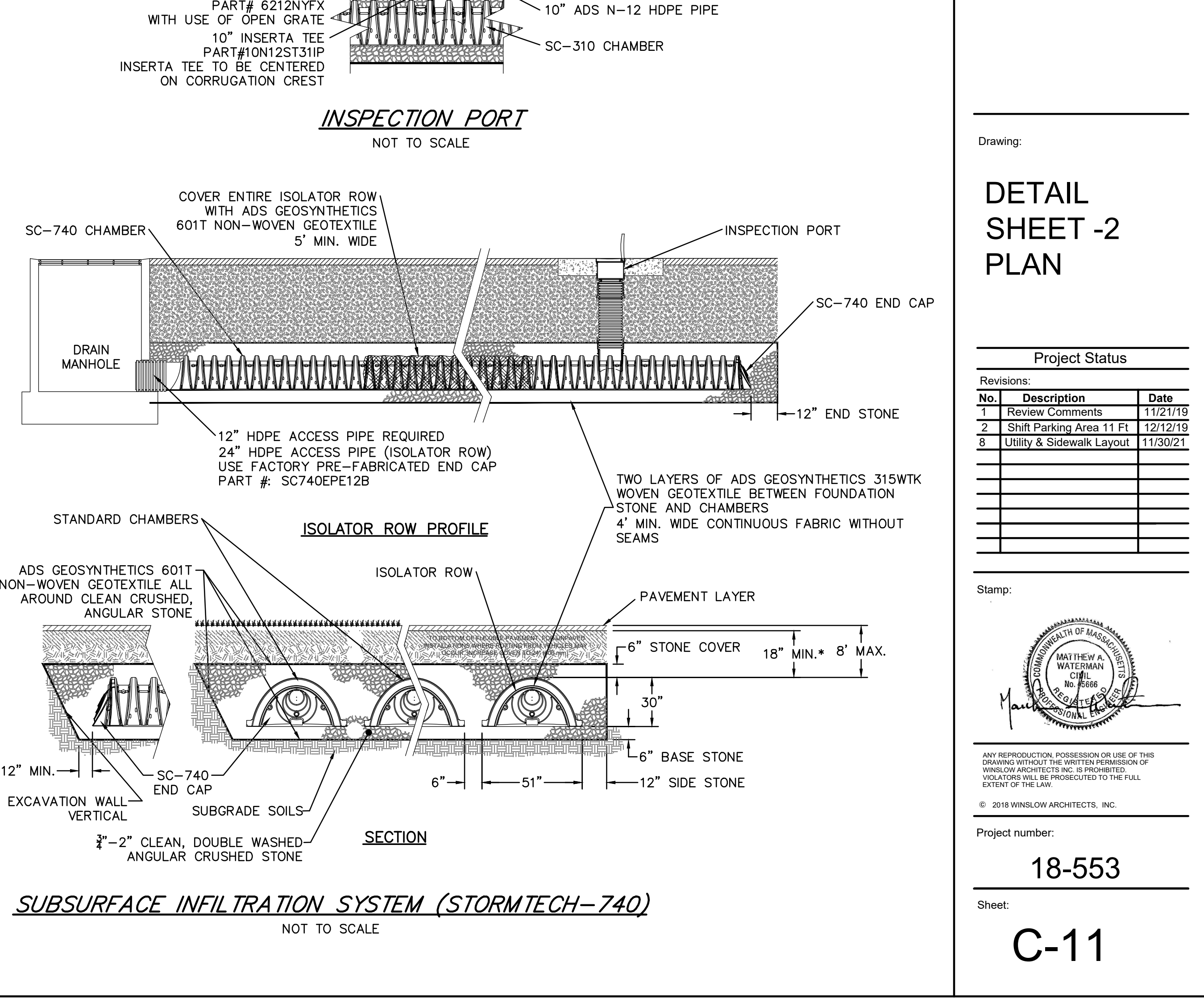
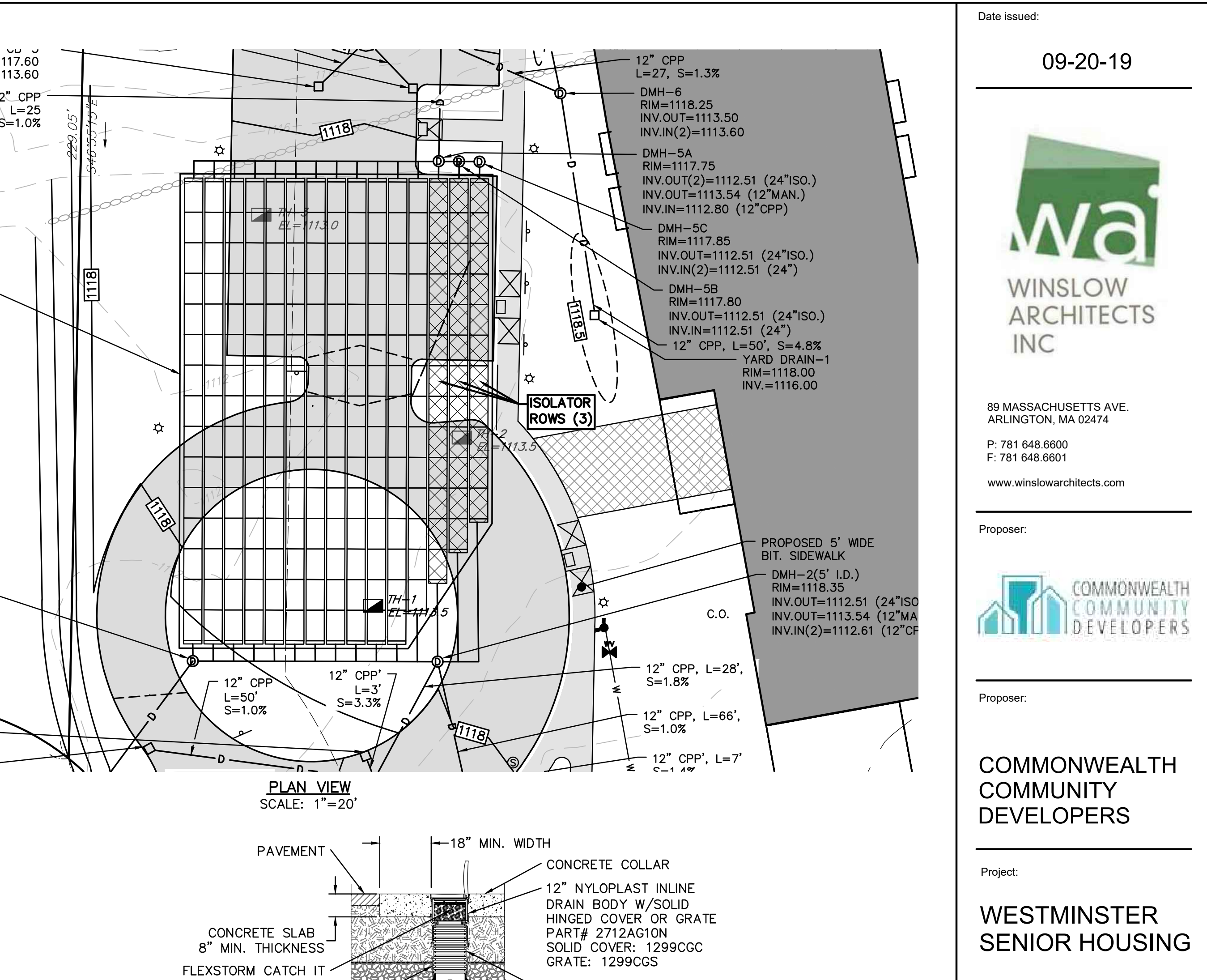
NOTES:  
1. CAST IRON COVER SHALL BE LABELED SEWER.  
2. SEAL ALL PINHOLES WITH HYDRAULIC CEMENT AND APPLY 2 COATS OF BITUMASTIC.  
3. FORCEMAIN INLETS SHALL BE FITTED WITH SCH-40 PVC TEES TO DIRECT EFFLUENT TO DOWN TO TROUGH.  
4. ALL SEWER SLOPES CALCULATED BY REFERENCING THE CENTERLINE INVERT ELEVATION AT THE CENTER OF EACH MANHOLE. ALL CALCULATED INVERTS ENTERING OR LEAVING REFERENCE THE MANHOLE CENTER. MANHOLES SHALL BE MANUFACTURED WITH A MINIMUM OF 0.1 FT. BETWEEN THE INVERT IN AND THE INVERT OUT.  
5. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.



**SECTION TYPICAL DRAIN MANHOLE**  
NOT TO SCALE



**TYPICAL YARD DRAIN**  
NOT TO SCALE  
(YD-1, YD-2, YD-3 AND DMH-7 ONLY)



**INSPECTION PORT**  
NOT TO SCALE

**ISOLATOR ROW PROFILE**

**SECTION**  
NOT TO SCALE

**SUBSURFACE INFILTRATION SYSTEM (STORMTECH-740)**  
NOT TO SCALE

Date issued: 09-20-19

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ARLINGTON, MA 02474  
P: 781 648.6600  
F: 781 648.6601  
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Proposer: COMMONWEALTH COMMUNITY DEVELOPERS

Project: WESTMINSTER SENIOR HOUSING

Drawing: **DETAIL SHEET -2 PLAN**

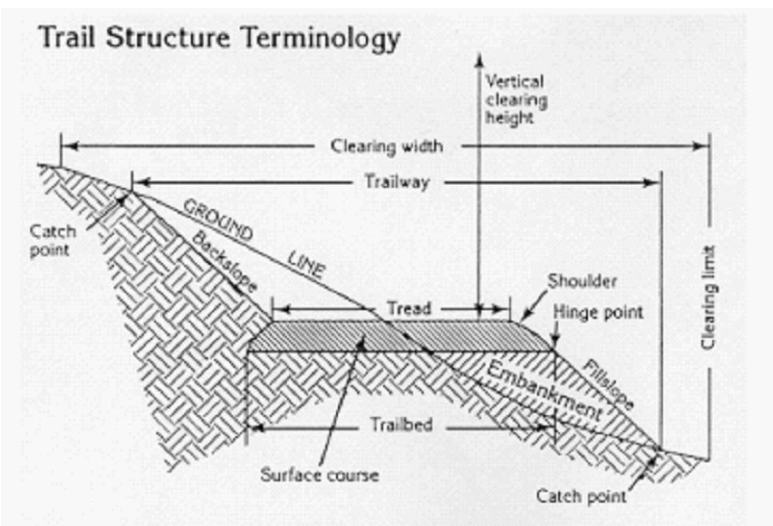
Project Status		
No.	Description	Date
1	Review/Comments	11/21/19
2	Shift Parking Area 11 Ft	12/12/19
8	Utility & Sidewalk Layout	11/30/21

Stamp:

Project number: 18-553

Sheet: C-11

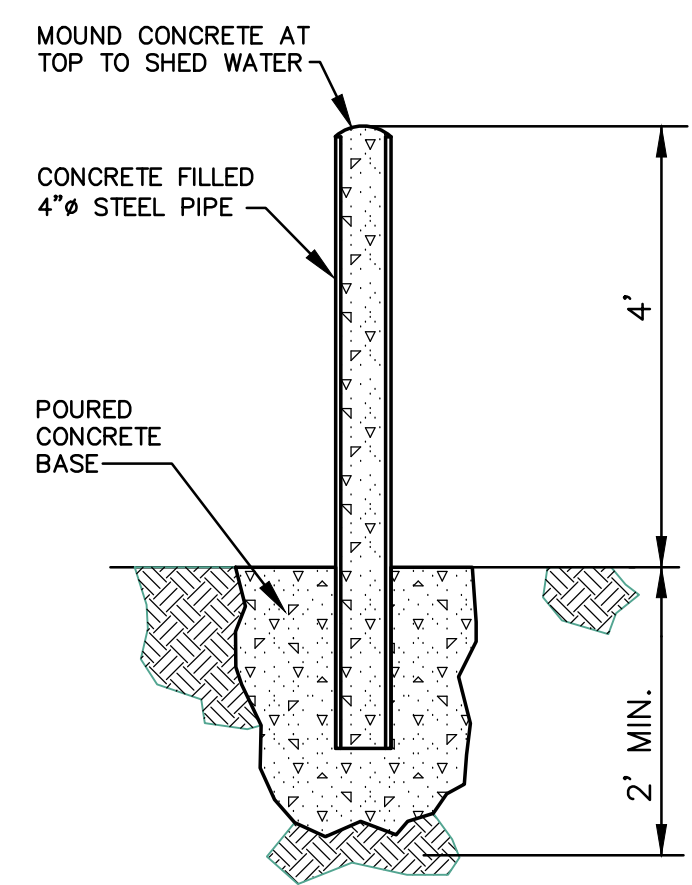




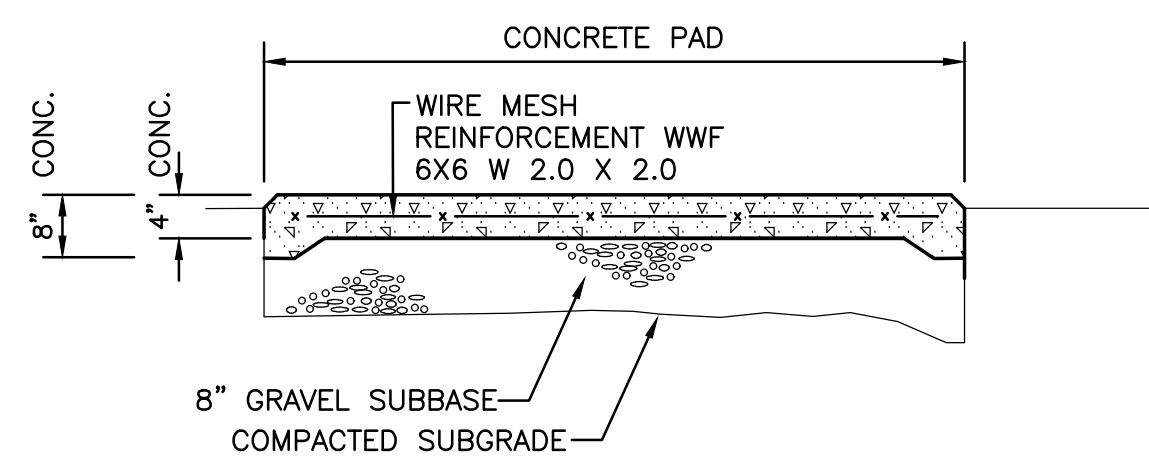
**Figure 4-1:**  
**Trail Structure Terminology**  
[Trail Construction & Maintenance Notebook,  
USFS, p 17]

**SECTION**  
**TYPICAL TRAIL DETAIL**  
NOT TO SCALE

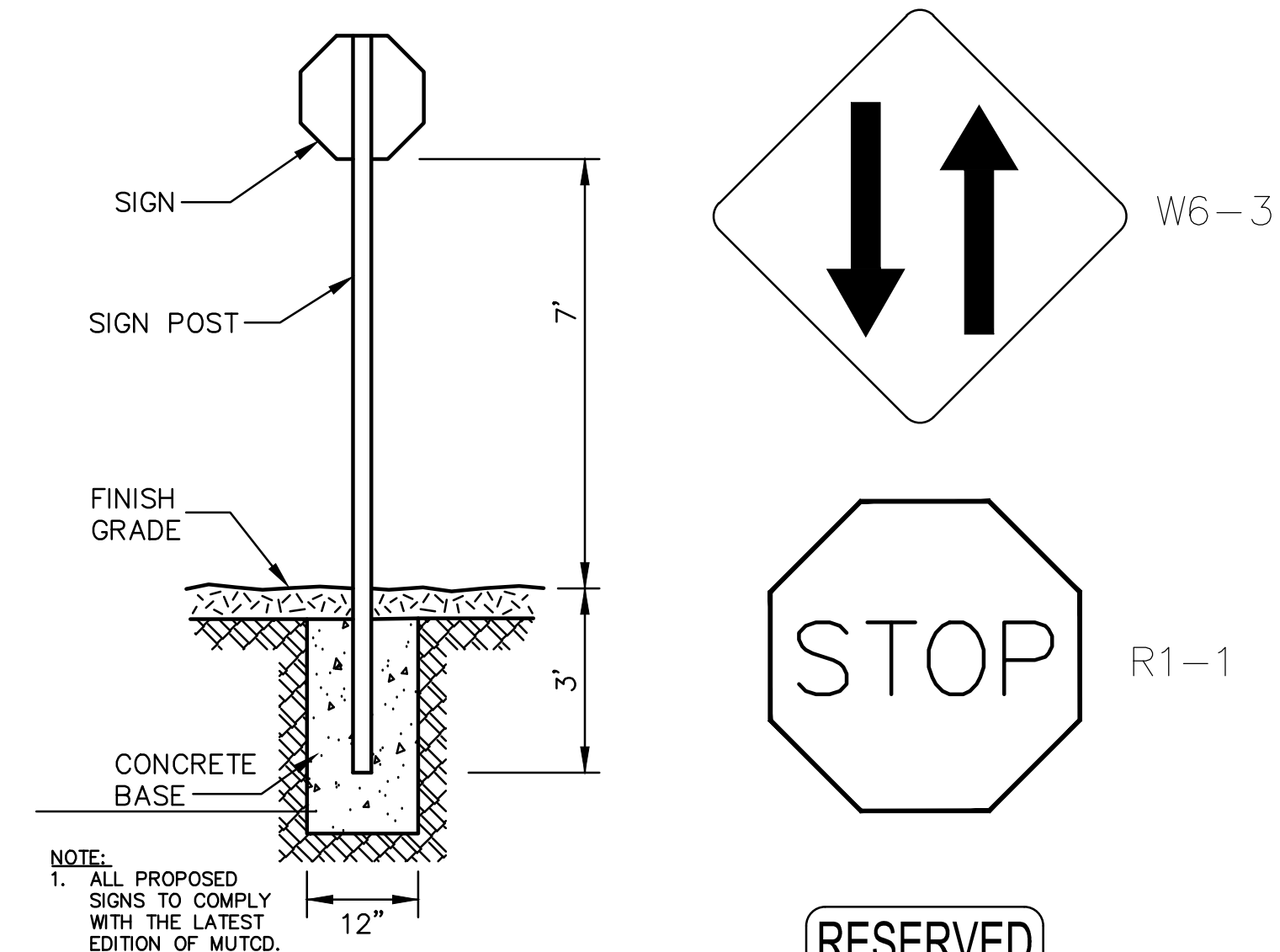
- NOTES:**
- PRIOR TO CONSTRUCTION, THE LOCATION OF THE TRAIL SHALL BE FLAGGED BY SITE CONTRACTOR AND AN OWNER REPRESENTATIVE.
  - TRAIL SHALL BE LAID OUT AS TO AVOID THE REMOVAL OF LARGE VEGETATION OR EXTENSIVE EARTH WORK.
  - TRAIL CONSTRUCTION SHALL CONSIST OF CLEARING BRANCHES AND SMALL TREES.
  - TREAD SHALL BE 5' WIDE
  - TRAILWAY SHALL BE 8' WIDE
  - CLEARING WIDTH 10' WIDE
  - VERTICAL CLEARANCE SHALL BE 9' HEIGHT
  - TREAD SHALL BE RAKED OUT REMOVING FALLEN LOGS AND ROCK TO EXPOSE THE NATURAL SURFACE
  - TREAD SHALL PROVIDE POSITIVE DRAINAGE (CROSS SLOPE SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 2%).



**CONCRETE FILLED BOLLARD**  
NOT TO SCALE



**CONCRETE GENERATOR PAD**  
NOT TO SCALE



**SIGN DETAIL**  
NOT TO SCALE



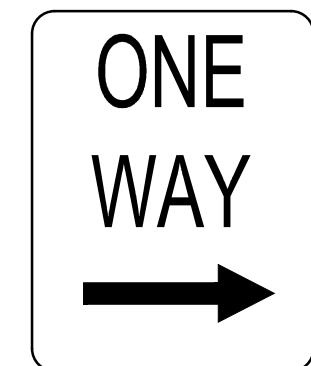
**PRIVATE ROAD SIGN**  
NOT TO SCALE



R7-8

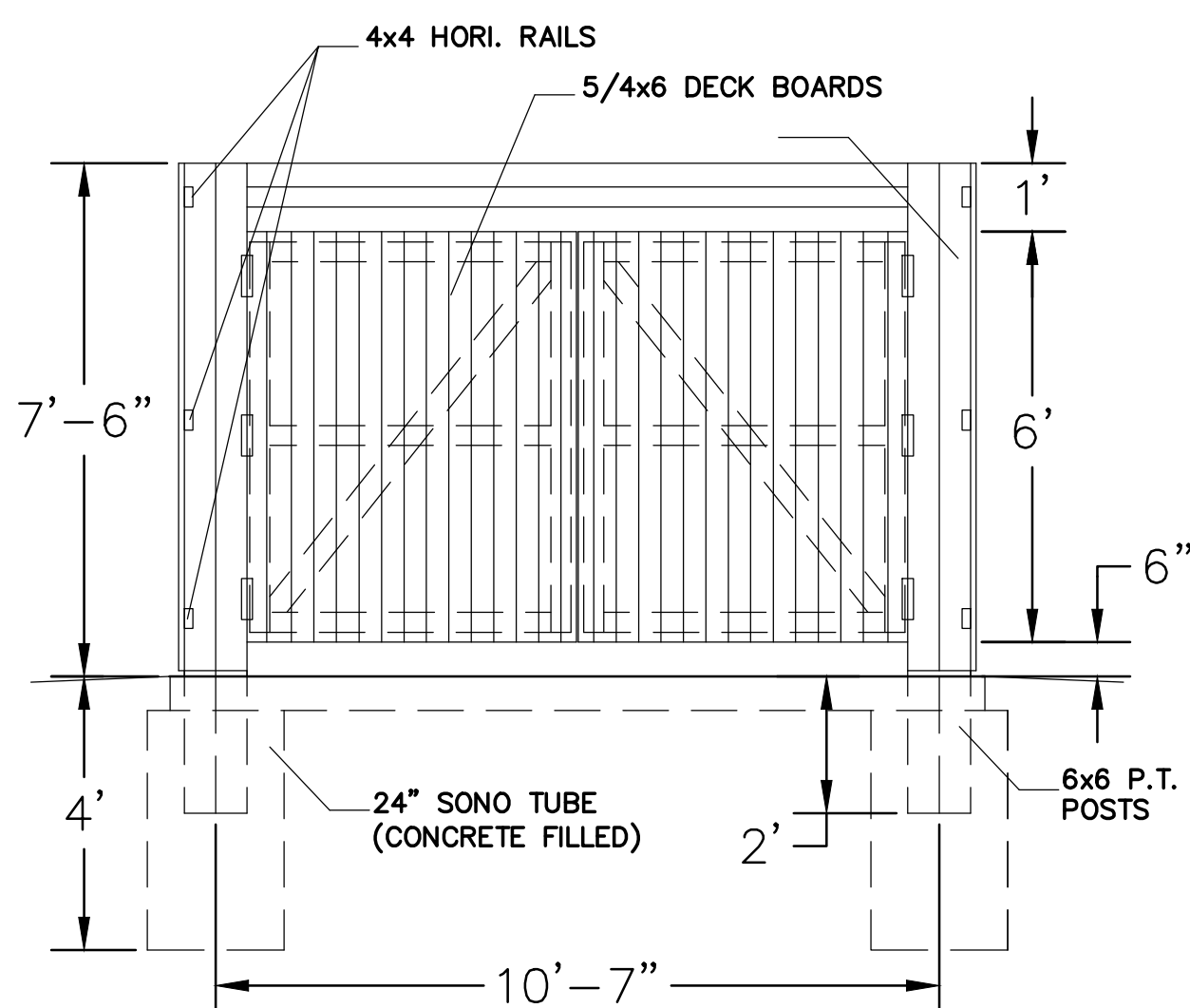


R7-8P

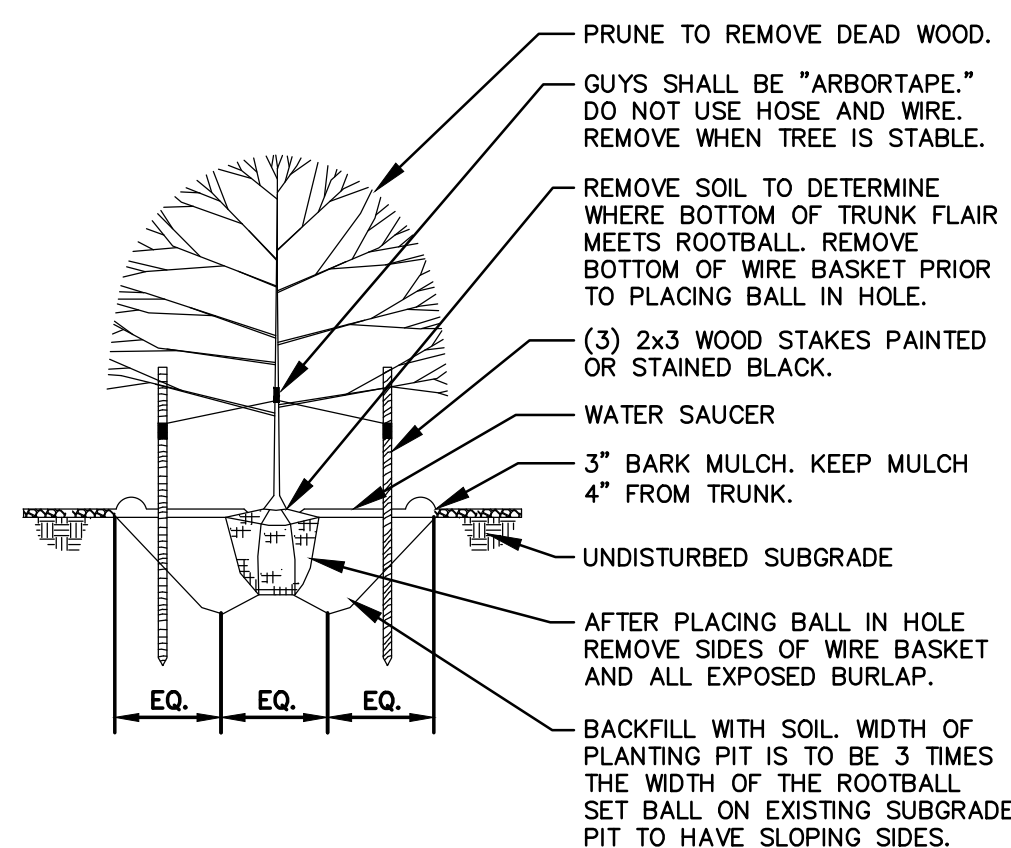


R6-2

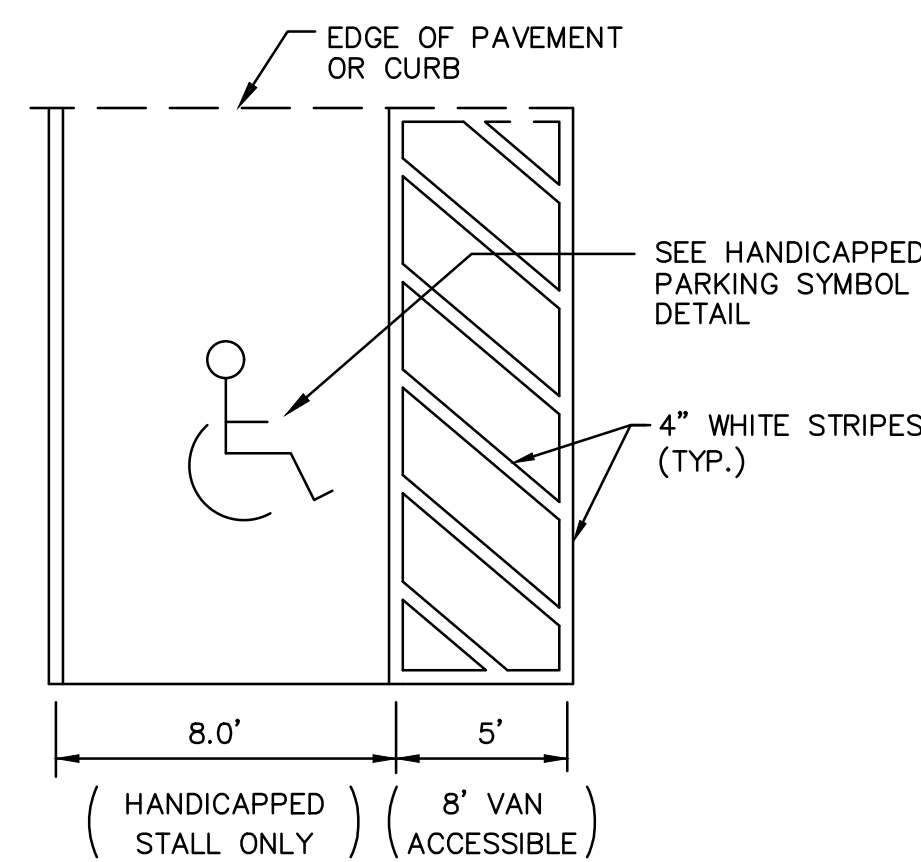
**MUTCD SIGNS**  
NOT TO SCALE  
(REFER TO MUTCD MANUAL FOR SIZES AND COLORS)



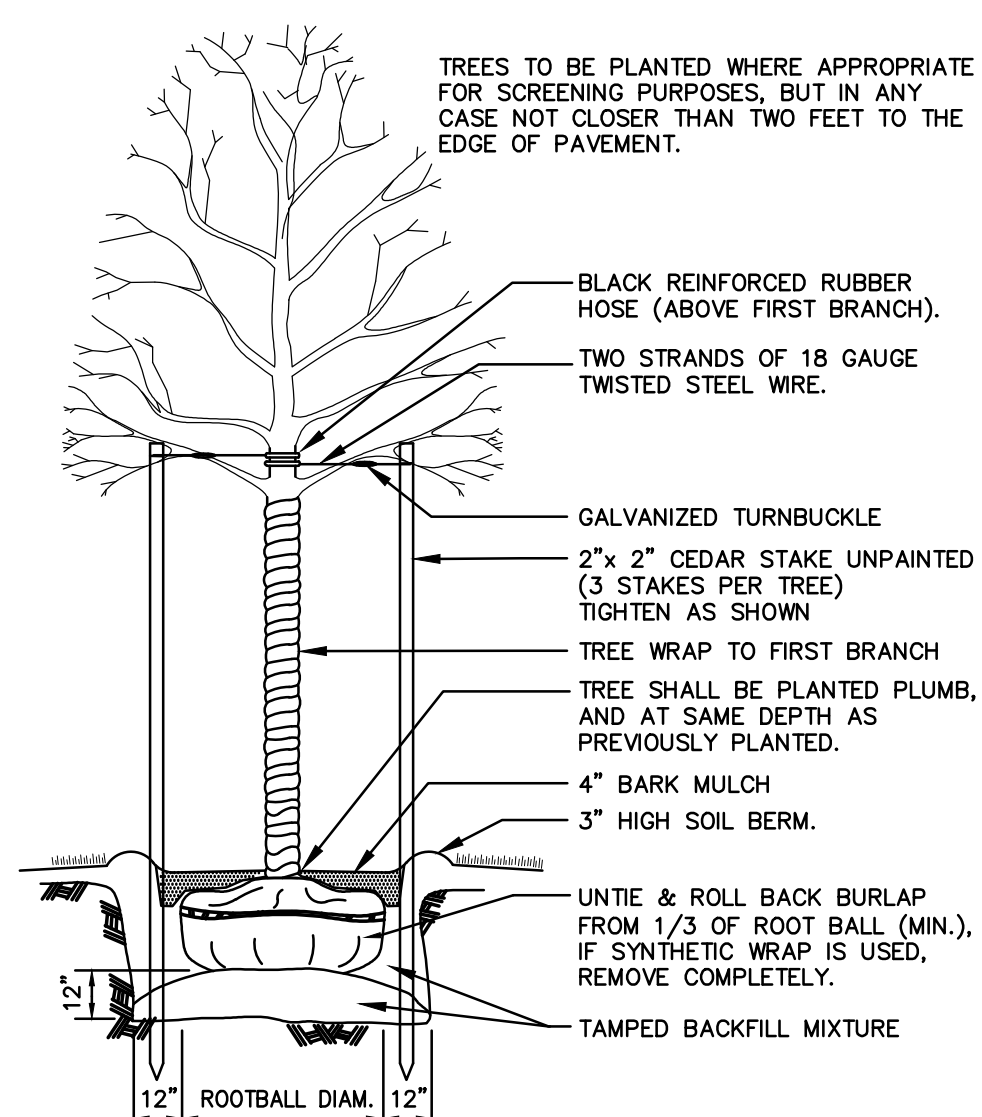
**DUMPSTER ENCLOSURE**  
NOT TO SCALE  
ALL LUMBER TO BE PRESSURE TREATED



**DECIDUOUS TREE PLANTING**  
NOT TO SCALE

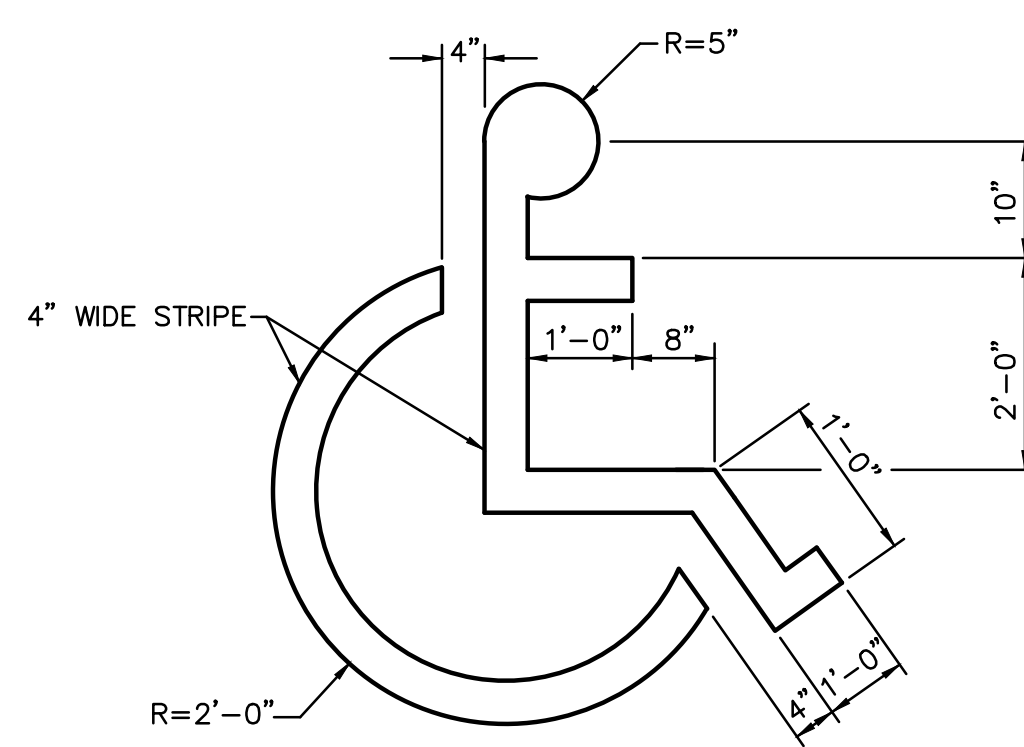


**PARKING SPACE STRIPING DETAIL**  
NOT TO SCALE



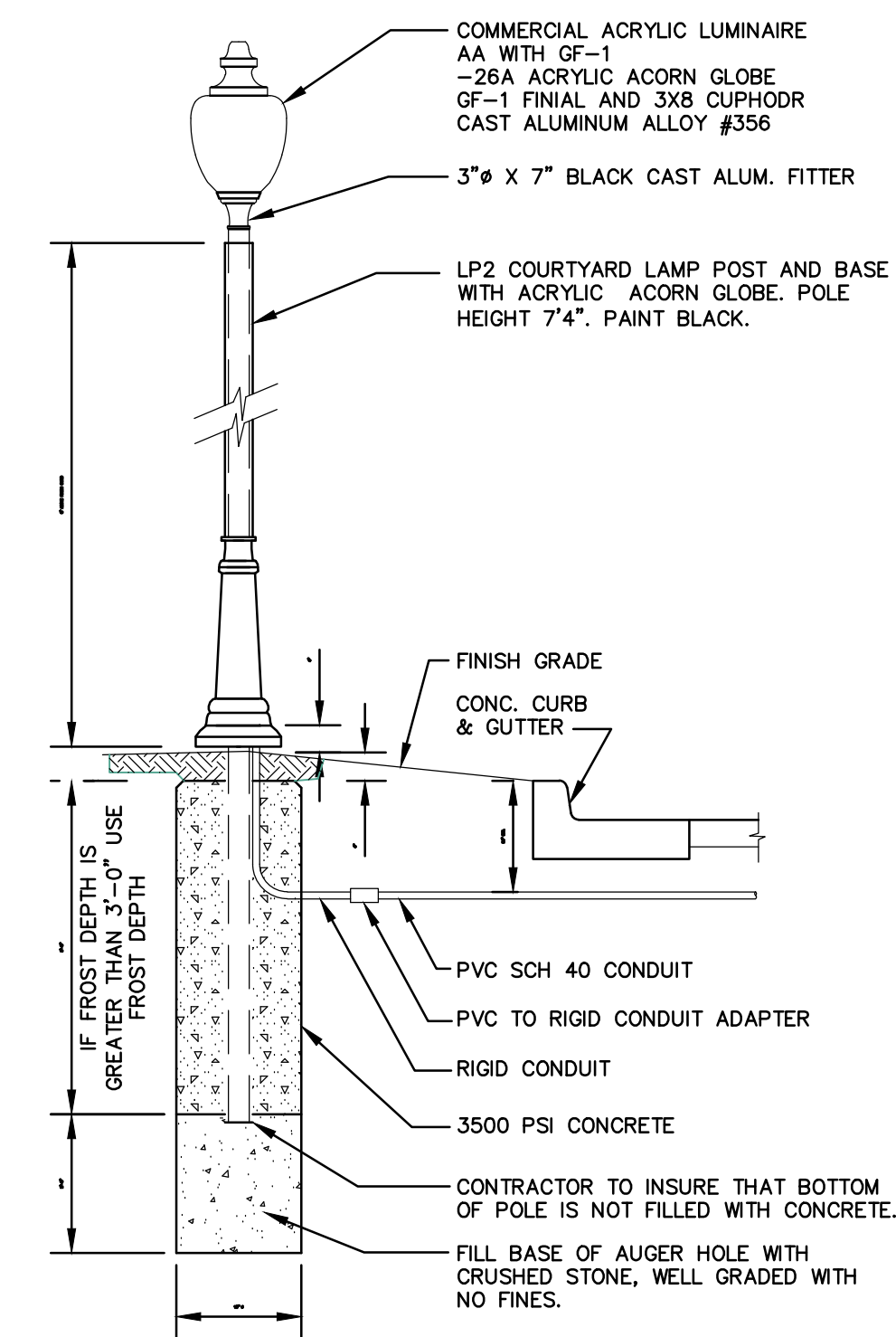
**TREE PLANTING**  
NOT TO SCALE

NOTE: SEE SITE PLAN FOR TREE LOCATIONS AND TYPES



NOTE: SYMBOL SHALL BE PAINTED IN CENTER OF PARKING STALL.

**HANDICAPPED PARKING SYMBOL**  
NOT TO SCALE



**LIGHT POLE & LANTERN DETAIL**  
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NOTE: SEE SITE PLAN FOR POST LOCATIONS.

Date issued:

09-20-19



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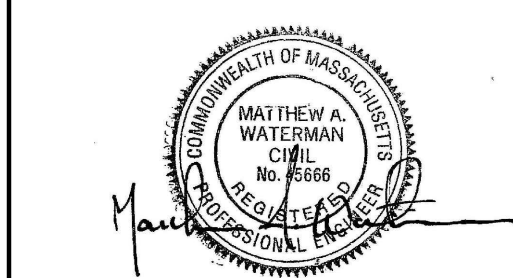
Drawing:

DETAIL  
SHEET -3  
PLAN

Project Status

No.	Description	Date
1	Review Comments	11/21/19
2	Shift Parking Area 11 Ft	12/12/19
7	Town Comments	11/10/21
8	Utility & Sidewalk Layout	11/30/21

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